

Handbook for Architectural Review Committee Members

Victor Gardens Community Association - Architectural Review Committee



Introduction:

The Victor Gardens Architectural Review Committee (ARC) plays a crucial role maintaining property values, architectural character and the general appearance of our unique neighborhood. This handbook's purpose is to inform the ARC's members by offering historical and technical perspectives. Throughout the Twin Cities, there are many master planned neighborhoods and residential associations. One of the things separating Victor Gardens from so many other neighborhoods is our ARC's adherence to Victor Gardens' original promises. Long-time owners and prospective buyers alike are assured that high standards are maintained in Victor Gardens.

Background & History:

Based upon its popularity elsewhere, in 2002, developer Contractors Property Developers Company (CPDC) proposed to the City of Hugo a "New Urbanism"-style community. At the time, New Urbanism master planned communities featured mixed-use neighborhood planning celebrating walk-able neighborhoods, curving streets, pocket parks, tree-lined boulevards, and shared amenities. Homes with distinctive historical architectural styles on all four sides attracted buyers. This movement had been proven successful in Minnesota, particularly in Stillwater's Liberty on the Lake development. It gained momentum as homebuyers looked for alternatives to typical suburban tract developments filled with monotonous homes lacking architectural character. CPDC included New Urbanism concepts into its proposals to the City of Hugo and called Victor Gardens one of its "New Small Town Neighborhoods".

CPDC entered into a Planned Unit Development (PUD) Agreement with the City of Hugo. As part of this agreement, CPDC set up Victor Gardens as a community that included a number of sub-associations and one "master" association. Victor Gardens' master association was called Victor Gardens Community Association (VGCA). The PUD Agreement included a number of important governing documents. These formed the legal structure on which Victor Gardens was based. Some of the VGCA governing documents included:

- VG Master Declaration of Covenants, Conditions, Restrictions and Easements
- Master Disclosure Statement including
 - Articles of Incorporation
 - Bylaws
 - Master Rules
 - Architectural Review and Design Guidelines
 - Landscape Policy and Requirements

In addition to the VGCA's governing documents, each sub-association had its own set of governing documents. The community was structured with the VGCA at the top. Each condominium and single-family home sub-association was under the VGCA's "umbrella", and generally subordinate to the VGCA.

In addition to controlling the VGCA, the developer also had inherent and unique rights set forth within the governing documents. As an example of this, CPDC retained the authority and flexibility to approve or deny buildings that didn't fit their original vision. CPDC and its preferred pool of builders Rottlund Homes, Pratt Homes, American Classic Homes, Senn & Youngdahl, and David Bernard Homes successfully sold new homebuyers on Victor Gardens as a New Urbanism-inspired community including historically inspired, traditionally styled architecture.

As the housing market declined, however, economic pressures pushed CPDC into leaving Victor Gardens in the hands of the community it started. The developer and its staff of trained, experienced ARC members were gone. In its place the VGCA Board was formed of owner representatives designated by each of the sub-associations. The VGCA Board of Directors included builders and residents. As more homes were sold, the proportion of resident owners on the VGCA Board increased. During this period, the VGCA's Board of Directors also served in a dual-role as members of Victor Gardens Architectural Review Committee (ARC).

As the owner-controlled VGCA Board took over the ARC's responsibilities from CPDC, homebuilders continued to submit new proposals. During this period, the ARC and builders needed to comb through reams of complex documents to determine which new home and landscape designs were appropriate. This became a source of confusion and frustration for all involved.

All the while, the original PUD Agreement's documents were still in effect, and had to be followed. The owner-controlled ARC did not enjoy the same flexibility as CPDC, and needed to carefully follow written building requirements and guidelines to comply with the PUD Agreement. Seeing the need to streamline the process, however, the ARC spent years working together to pull all the relevant information into a simplified Application Package for New Home Construction.

The ARC Today:

The ARC and builders use the documents contained in the Application Package for New Home Construction to determine the appropriateness of new home and landscape designs. The ARC is also tasked with approving all changes to condominium building exteriors and landscaping. Since Victor Gardens Single Family Village Homeowners Association owners (SFV) request so many changes (adding decks, trees, landscaping etc.) the VGCA Board decided in 2009 to transfer that limited authority to the SFV. Currently, the SFV is the only sub-association that controls its own owner's changes to existing architecture and landscaping. VGCA's ARC retained control, however, over any new home construction within the SFV.

Understanding the Requirements:

All Victor Gardens owners are subject to VGCA's governing documents and the governing documents of their sub-association. VGCA must also comply with the PUD Agreement with the City of Hugo. Within the governing documents there are a number of specific, written Requirements for new home designs. These Requirements are very specific. The number of feet a new home can be placed from the street, a home's minimum lowest floor elevation, and the precise spacing of new boulevard trees are three examples of Requirements set forth within the governing documents. The ARC does not have the authority to change the Requirements, as they are set forth specifically within the governing documents and the PUD Agreement.

Interpreting the Guidelines:

While the Requirements are intentionally rigid, the Victor Gardens Residential Design Guidelines are more subjective. The Guidelines are an essential part of the PUD Agreement, and they offer greater detail and more aesthetic guidance than the Requirements do. The governing documents intentionally require a group of people (the ARC) to interpret the Guidelines and apply the Requirements. If not for the ARC and its members, Victor Gardens would not look as it does now. As written in the governing documents, "The committee will use the guidelines that were submitted to the City of Hugo with the PUD Concept Plan approval for the neighborhood as a minimum standard of architectural application. However, the committee's goal is not to aspire to the lowest denomination of the City requirements. The committee will look to maintain the spirit of the Traditional Neighborhood streetscape by enforcing a historical architectural character."

Appendix/ Additional Resources:

- Application Package for New Home Construction (blank)
- References found in governing documents related to architectural & landscape standards, requirements, and the role of the ARC.
- Victor Gardens Residential Design Guidelines
- Photographs of a sample of existing SFV homes:
<http://victorgardensnews.org/files/arc/streetviews/index.html>
- Record of Action delegating limited authority to VGSFV
- Each ARC member is issued one copy of
A Field Guide to American Houses by Virginia & Lee McAlester.
Published by Alfred A. Knopf. ISBN 0-394-73969-8

Victor Gardens Community Association & Victor Gardens Single Family Village Homeowner's Association

References found in governing documents" related to architectural & landscape standards, requirements, and the role of the Architectural Review Committee. Including legal opinion.

October 22, 2009

A. Master Disclosure Statement:

- a. Control, preserve and enhance the architectural and environmental character. ¹
- b. Administer and enforce covenants. ¹
- c. ARC's mission statement: ²
 - i. "The committee will use the guidelines that were submitted to the City of Hugo with the PUD Concept Plan approval for the neighborhood as a minimum standard of architectural application. However, the committee's goal is not to aspire to the lowest denomination of the City requirements. The committee will look to maintain the spirit of the Traditional Neighborhood streetscape by enforcing a historical architectural character."

B. Master Bylaws:

- a. Control, preserve and enhance the architectural and environmental character. ³
- b. Administer and enforce the covenants ⁴

C. Master Declaration of Covenants

- a. Master Association has obligation to ⁵ ...
 - i. administer and enforce the covenants, conditions, restrictions, easements and other rights and obligations, set forth in the Master Governing Documents ⁶
 - ii. control, preserve, enhance the architectural and environmental character of the Property. ⁷
- b. Kind, shape, height, materials, floor plans, color scheme and location. ⁸
- c. Site survey required. ⁸
- d. Material samples and colors. ⁸
- e. Minimum standards. ⁹
- f. Compatibility of color, size, location, type ¹⁰
- g. Comparable or better quality of materials as used in existing buildings ¹¹
- h. Compliance with Architectural Review & Design Guidelines for Victor Gardens ¹²
- i. Design guidelines may only amended after every Unit contains a Dwelling. ¹²
- j. Compliance with the Landscape Policy & Requirements ¹³
- k. Landscape Policy may only be amended after every Unit contains a Dwelling ¹⁴
- l. Retaining walls must comply with Guidelines and Landscape Requirements. ¹⁵
- m. Modular block walls are expressly prohibited unless otherwise approved by ARC ¹⁵
- n. Use of natural stone, boulders and rock is encouraged. ¹⁵
- o. Variances – case by case. ¹⁶
 - i. Unique circumstances
 - ii. Is reasonable
 - iii. Does not impose hardship on other Owners
 - iv. Does not violate agreement with City.

D. Landscape Policy & Requirements: ¹⁷

- a. Professionally designed plans
- b. Minimum of 2.5% of purchase price of home and lot combined.
- c. Entire budget for trees, shrubs, plant materials & sod.
- d. Irrigation systems and retaining walls can not be included in Landscape Budget.

- e. Retaining walls must be natural boulder rock, laid rock, or cultured stone adhered...
- f. Keystone walls not allowed except 'Country Manor' or equivalent
- g. Retaining walls must be approved with floor plan
- h. Plant materials
- i. Minimum sized
- j. Minimum amounts
- k. Special consideration for corner lots
- l. Materials allowed
- m. Etc.

E. Victor Gardens Single Family Homeowners Association – Disclosure Statement

- a. ...ensure that the architectural styles and quality of the dwellings in Victor Gardens Single Family Village are preserved. ¹⁸

F. Victor Gardens Single Family Homeowners Association – Declaration of Covenants

- a. One of the purposes of this Declaration is to ensure that the Units and exteriors of the Dwellings located thereon be kept architecturally attractive in appearance. ¹⁹
- b. Applications for approval of Improvements shall be submitted to the A.R.C. or the Board, as applicable, and processed substantially in accordance with the procedures and standards, including but not limited to the Architectural Review and Design Guidelines for Victor Gardens and the Landscape Policy & Requirements, as established by or referenced in Section 8 of the Master Declaration. ¹⁹

G. Legal Opinion of Felhaber, Larson, Fenlon & Vogt, February 2009 ²⁰

- a. "We strongly recommend that any approval of a variance be documented in writing and that such documented approval set forth specific findings of compliance with the four conditions stated in Section 8.7 of the Declaration. A statement of the A.R.C.'s findings with respect to each of the four conditions not only evidences the A.R.C.'s compliance with the variance requirements, but also sets forth limitations on the precedent established by the variance. You should note that one of the conditions is that the variance "does not violate any development agreement with the City..."
- b. "...any variance from the Design Guidelines should also be submitted to the City for approval to avoid any violation or default under any City agreement."

Footnotes / Sources:

Footnote #1:

Text from the Master Disclosure Statement (found on page 2):

The Master Association has certain powers reserved, or delegated to it by the Village associations, as follows:

To control, preserve and enhance the architectural and environmental character of the property, including but not limited to the right to establish architectural and landscape guidelines (the current version of which are attached hereto as exhibits to this Disclosure Statement), and to approve or disapprove all plans for the construction of new dwellings or other improvements in Victor Gardens; and

To administer and enforce the covenants, conditions, restrictions, rules and regulations, assessment obligations and other obligations set forth in (i) the Master Association's governing documents, and (ii) in the governing documents of any Village associations whose powers are not relinquished by the Master Association.

Footnote #2:

Text from the Architectural Review & Design Guidelines (Introduction)

Exhibit G to the VG Master Disclosure Statement

The committee will use the guidelines that were submitted to the City of Hugo with the PUD Concept Plan approval for the neighborhood as a minimum standard of architectural application. However, the committee's goal is not to aspire to the lowest denomination of the City requirements. The committee will look to maintain the spirit of the Traditional Neighborhood streetscape by enforcing a historical architectural character.

Footnote #3

Text from the Master Bylaws - Section 6.4.3:

To control, preserve and enhance the architectural and environmental character of the Property.

Footnote #4:

Text from the Master Bylaws - Section 6.4.6: *To administer and enforce the covenants, conditions, restrictions, easements and other rights and obligations set forth In a Village's Governing Documents or Village's Rules.*

Footnote #5:

Text from the Master Declaration of Covenants - Section 3.1:

Formation/Purposes/Powers. The Master Developer has formed the Master Association as a Minnesota non-profit corporation pursuant to Minnesota Statutes Chapter 317A and Section 515B.2-121 (a) of MCIOA. The Master Association is formed, and shall have the obligation and the power, to perform the following functions:

Footnote #6:

Text from the Master Declaration of Covenants - Section 3.1.2:

To administer and enforce the covenants, conditions, restrictions, easements, and other rights and obligations, set forth in the Master Governing Documents and the Master Rules.

Footnote #7:

Text from the Master Declaration of Covenants - Section 3.1.3:

To control, preserve and enhance the architectural and environmental character of the Property.

Footnote #8:

Text from the Master Declaration of Covenants - Section 8.3:

Application and Approval Required. Except as otherwise authorized by this Section 8, no Improvement shall be constructed, erected, removed, planted or maintained, nor shall any addition to or any change, replacement or alteration thereof be made, until plans and specifications showing the nature, kind, shape, height, materials, floor plans, color scheme and location of the Improvement shall have been submitted to and approved in writing by the A.R.C. Approval shall be requested by written application on such forms as may be required by the A.R.C. As part of the application process, two complete sets of plans and specifications, including site survey, prepared by an architect, landscape architect, engineer or other person found to be qualified by the A.R.C. shall be submitted. The A.R.C. may require submission of samples of building materials and colors proposed to be used. The applicant shall also apply

for approval to the City or other governmental authority having jurisdiction over the subject of the application, if required by the governmental authority. If the information submitted to the A.R.C. is, in the A.R.C.'s sole opinion, incomplete or insufficient in any manner, the A.R.C. may require the submission of additional information.

Footnote #9:

Text from the Master Declaration of Covenants - Section 8.4:

General Standards. The A.R.C. has authority to approve, conditionally approve or deny an application, in its sole and absolute discretion. In making its determinations, the A.R.C. shall consider, at a minimum, the following general criteria:

Footnote #10:

Text from the Master Declaration of Covenants - Section 8.4.1:

Compatibility of color, size, location, type and design for high quality Dwellings, buildings containing Dwellings and other Improvements.

Footnote #11:

Text from the Master Declaration of Covenants - Section 8.4.2

Comparable or better quality of materials as used in existing buildings or other Improvements on the Property.

Footnote #12:

Text from the Master Declaration of Covenants - Section 8.4.5

Compliance with the Architectural Review & Design Guidelines for Victor Gardens as established, and as may be amended from time to time, by the Master Developer (the "Design Guidelines"). The Design Guidelines may be amended by the Master Board only after every Unit contains or constitutes a Dwelling for which a Certificate of Occupancy or other comparable certification has been issued by the City

Footnote #13:

Text from the Master Declaration of Covenants - Section 8.4.6

Compliance with the Landscape Policy & Requirements as established, and as may be amended from time to time, by the Master Developer (the "Landscape Requirements"). The Landscape Requirements may be amended by the Master Board only after every Unit contains or constitutes a Dwelling for which a Certificate of Occupancy or other comparable certification has been issued by the City and the Master Developer, or its successors and assigns, no longer has the right to subject Additional Property to this Master Declaration.

Footnote #14:

Text from the Master Declaration of Covenants - Section 8.4.6

Compliance with the Landscape Policy & Requirements as established, and as may be amended from time to time, by the Master Developer (the "Landscape Requirements"). The Landscape Requirements may be amended by the Master Board only after every Unit contains or constitutes a Dwelling for which a Certificate of Occupancy or other comparable certification has been issued by the City and the Master Developer, or its successors and assigns, no longer has the right to subject Additional Property to this Master Declaration.

Footnote #15:

Text from the Master Declaration of Covenants - Section 8.5.6

The A.R.C. shall establish standards for all retaining walls, whether temporary or permanent, within the Property but all such retaining walls and other walls shall be in compliance with the Design Guidelines and Landscape Requirements. Cinder block, railroad tie and wood retaining walls are prohibited. Modular block walls are expressly prohibited unless otherwise approved by the A.R.C. in its sole discretion. Use of natural stone, boulders and rock for construction of retaining walls is encouraged.

Footnote #16:

Text from the Master Declaration of Covenants - Section 8.7

Exception and Variances. The A.R.C. may, in its sole discretion, grant variances from the requirements contained in Section 8 or otherwise established by the A.R.C. on a case by case basis; provided, that the variance sought (i) involves unique circumstances, (ii) is reasonable, (iii) does not impose a hardship upon other Owners, and (iv) does not violate any development agreement with the City, any governmental law, ordinance, code or regulation. The granting of such a variance by the A.R.C. shall not nullify or otherwise affect the A.R.C.'s right to require strict compliance with its requirements on any other occasion.

Footnote#17:

Text from Exhibit H to Victor Gardens Master Disclosure Statement:

It is required that your professionally designed landscape plan must be a minimum of 2.5% of the purchase price of your home and lot combined." "The entire landscape budget is to allocated solely to trees, shrubs, plant materials & sod.

Irrigation systems and retaining walls are a separate financial consideration" [in addition to the Landscape Budget] "All retaining walls must be natural boulder rock, laid rock or cultured stone adhered to cinder block or poured walls with footings. Keystone walls are not allowed in Victor Gardens with the exception of the 'Country Manor' tumbled or equivalent. Retaining walls must be approved with your floor plan and cannot alter the drainage and utility easements or the final grading plan.

Footnote #18:

Text from Victor Gardens Single Family Village Disclosure Statement (page 2).

Footnote #19:

Text from Victor Gardens Single Family Homeowners Association Declaration of Covenants, Section 9.

One of the purposes of this Declaration is to ensure that the Units and exteriors of the Dwellings located thereon be kept architecturally attractive in appearance. Therefore, except as expressly provided in Section 8 of the Master Declaration, no Dwelling, addition, out- building or other structure, enclosure, fence, retaining wall or other wall, gazebo, sport court, fire pit, exterior lighting, landscaping or other visible exterior Improvement to a Unit, shall be commenced, erected, installed or maintained, unless and until the plans and specifications showing the type, dimensions, color, materials and location of the Improvements have been approved in writing (i) by the A.R.C. established by Section 8 of the Master Declaration, or(ii) by the Board if the A.R.C. delegates its architectural review functions for the Property to the Association. Applications for approval of Improvements shall be submitted to the A.R.C. or the Board, as applicable, and processed substantially in accordance with the procedures and standards, including but not limited to the Architectural Review and Design Guidelines for Victor Gardens and the Landscape Policy & Requirements, as established by or referenced in Section 8 of the Master Declaration. Notwithstanding any delegation of architectural review functions for the Property to the Association, the A.R.C. shall have the overriding power to enforce the procedures and standards established by Section 8 of the Master Declaration if the A.R.C. determines the Association has or is failing to do so. The Developer's written consent shall also be required for Improvements until each Unit contains a Dwelling for which a certificate of occupancy or other comparable certification has been issued by the City and the Developer no longer has the right to subject Additional Property to this Declaration. Master Developer's written consent shall also be required until each Unit (as defined in the Master Declaration) in the Development Area contains or constitutes a Dwelling for which a Certificate of Occupancy or comparable certification has been issued by the City and the Master Developer no longer has the right to subject Additional Property to the Master Declaration.

Footnote#20:

Text from legal opinion letter sought by the Victor Gardens Community Association Board of Directors. Written February 5, 2009 by Felhaber, Larson, Fenlon & Vogt, attorneys-at-law.

Summary of Objectives for Victor Gardens Architectural Guidelines

By the Architectural Review Committee, Victor Gardens Community Association
Updated April, 2014



Victor Gardens ARC's goal is to maintain Architectural Integrity throughout the neighborhood, noted below are the main goals to keep in mind when designing a home for the neighborhood. The Application Package for New Home Construction provides extensive detail to help guide you through the process and make sure all the requirements are met. Ultimately the goal is to meet the following 4 requirements:

1. Design a home that meets the criteria of the preferred styles for Victor Gardens. The architecture must be true to the style it represents.
2. The garages must be de-emphasized; this means no front forward garages.
3. The architecture must be consistent on all four sides. Creating movement as required by the style of architecture. The rear and sides are as important as the front to create true four-sided architecture.
4. Houses nearby need to differ from each other and be unique creating a true custom neighborhood.

Application Package for New Home Construction

By the Architectural Review Committee, Victor Gardens Community Association
Updated April, 2014



Welcome!

On behalf of Victor Gardens' Community Association, the Architectural Review Committee welcomes your interest in our neighborhood! Victor Gardens is a vibrant community with numerous amenities and diverse architectural character. We look forward to reviewing your submissions and are ready to answer any questions that arise along the way.

Contents:

- Introduction
- ARC Liaison
- A few suggestions before beginning
- Follow the steps
- Document formatting
- Timelines / turnaround / expectations
- Meetings
- Compliance
- Variances
- ARC Contact Person
- The Applications:
 - Architectural Application
 - Architectural Checklist
 - Color Application
 - Landscape Application
 - Landscape Checklist
- Submission Checklist
- For your reference:
 - Example schematic home plans
 - Street Views – Photographs of existing homes in Victor Gardens
 - Victor Gardens Design Guidelines

Introduction:

The purpose of the Architectural Review Committee (ARC) is to control, preserve and enhance the architectural and environmental character of Victor Gardens. The Committee provides potential buyers, property owners, architects, designers and builders with the parameters for the preparation of home placement and elevation drawing specifications. ARC created this Application Package for New Home Construction to help builders and homeowners clearly understand the criteria by which submissions are judged. This is intended to simplify and summarize a number of source documents including City of Hugo PUD Agreement Requirements, Victor Gardens Architectural & Landscape Requirements, Victor Gardens Residential Design Guidelines (ARC Guidelines) and the neighborhood's Covenants as a minimum standard of architectural application. However, the Committee's goal is not to aspire to the lowest denomination of these. ARC will look to maintain the spirit of the Traditional Neighborhood streetscape by enforcing a historical architectural character.

ARC Liaison:

Teresa St. Amant is the ARC Liaison and will provide informal guidance before your official submittal. Send your initial submittals to the Liaison for preliminary feedback, which could include initial design response/suggestions, additional required information and other important information to help move the ARC approval process forward in a timelier manner. Contact via email at teresa@stamantdesignllc.com or (952) 693-8475.

A few suggestions before beginning:

Builders who propose homes that are easily identified as one of Victor Gardens "preferred styles" seem to get through the approval process easier. Victor Gardens Application Package for New Home Construction instructs builders to "design [home plans] using modern floor plans with an architectural theme." Preferred home styles are "Colonial, Victorian, Federal, Farmhouse, Cape Cod, Tudor, Stick, Shingle, (early) Prairie School, and Arts & Crafts Bungalow."

For anyone new to Victor Gardens' ARC process, we strongly suggest purchasing a copy of *A Field Guide to American Houses* by Virginia & Lee McAlester. Published by Alfred A. Knopf. ISBN 0-394-73969-8. Each ARC member is issued this book. It is used principally as a reference to Victor Gardens "preferred styles". Most builders and architects seem to be familiar with the book. It helps define the particular architectural style and is important to building a stylistically appropriate home and getting through the ARC process easily.

The ARC's application forms contain a lot of detail, which the ARC members use to help judge submissions. The details must be addressed in each step of the review process. Please read, understand and complete the required forms. Include as much detail as possible.

Follow the steps:

This Application Package for New Home Construction outlines the step-by-step process and criteria by which your submissions will be reviewed. The ARC will oversee a number of items prior to granting final written approval, which allows a building permit release for construction. The ARC strives to provide you a swift response through this process. To achieve this goal, your submissions must be complete, detailed, and submitted in the required PDF file format. Submit everything related to an application at the same time, according to the steps outlined below. Please don't send elevation drawings on one day, application form the next, and supporting documents later on. Please find the enclosed Submission Checklist page to help ensure your home proposals are not delayed due to incomplete submissions. Incomplete submissions will not be scheduled for review.

Step 1 / Preliminary Concept Phase - ARC Liaison Review

This informal first step is designed to expedite the ARC review process and provide feedback before official submittal. All initial Step 1 submittals will be reviewed by the Liaison for both architectural and application feedback. Once submitted, the Liaison will take up to 7 days to provide feedback. You should allow for time to revise your proposal after Liaison feedback. Your Step 1 submittal must be provided to the Liaison.

Step 2 / Preliminary Approval Phase - Submitting an Architectural Application for ARC Review

This step is designed to save you and your client time and money. Once the Liaison provides feedback based upon your Step 1 submittal you can move towards the Step 2 / Preliminary Approval Phase. This allows you to submit schematic home and site plans with enough detail (see example schematic ARC plan) to be reviewed by the ARC and potentially receive ARC's preliminary approval. If the ARC believes more significant changes are required, the Committee may ask you to repeat Step 1 or Step 2. Your Step 2 submittal must be provided to the Community Manager.

Step 3 / Final Approval Phase - Submitting an Architectural Application for Final ARC Approval

After the ARC invites you to proceed to Step 3, you can move forward to complete the construction drawings and Lot Survey to submit for Final Review. This phase is set up to assure that the approved Step 2 preliminary plans match the final construction documents. Upon successful completion of Step 3 the ARC will provide a written approval, which is required for permitting. Your Step 3 submittal must be provided to the Community Manager.

Step 4 / Color Approval Phase and Landscape Approval Phase

These can be submitted together or separately, but only after you've completed Step 3 and received written approval. Color Application and Landscape Application must be approved in writing before proceeding with either. Your Step 4 submittals must be provided to the Community Manager.

Document formatting - Submit only one or two PDF documents per Application.

It is required that your entire submission must be combined into **one or two multi-page (8 ½ x 11 letter size) PDF** documents. This includes your Application, Checklist, written descriptions, visual references, elevation and plan drawings, Lot Survey, etc. Please note that emails, texts, phone conversations, faxes, file formats other than PDF, etc. will not be accepted. Please email your PDF file(s) to our Community Manager. Note: The only exception to this policy is during the Color Application review phase in which arrangements can be made to drop off material samples and color swatches for the ARC's consideration.

Timelines/ turnaround / expectations:**Step 1 / Preliminary Concept Phase:**

Once submitted to the Liaison, you can expect it to be turned around within 7 business days.

Step 2 / Preliminary Approval Phase:

Builders must provide the Community Manager a complete Architectural Application submission at least 7 business days prior to the scheduled ARC meeting.

- Contact the Community Manager for the ARC's monthly meeting schedule or request a special meeting.
- After receiving complete submissions the Community Manager will email copies to ARC members.
- ARC members will review submission materials individually prior to the scheduled meeting, and will be prepared to discuss the submission as a group. This is the primary reason for the 7-business day deadline.
- The ARC's response to your Step 2 submission will be sent to the Community Manager within 3 business days. Once preliminary approval is granted, the project can move forward to Step 3.

Step 3 / Final Approval Phase:

Obtain the ARC's final approval by submitting your Step 2 preliminary approval plans with your final construction documents. These documents must match preliminary approval. Final written approval is required for permit. This process shall be complete within 7 business days.

Step 4 / Color Approval Phase and Landscape Approval Phase

The ARC will review these applications at monthly ARC meetings.

Meetings:

- ARC meetings are scheduled once each month.
- Special meetings may be available to builders as needed– subject to the availability of ARC members.

Compliance:

Upon completion of the home, builder must notify Community Manager that home is ready for its Compliance Inspection. After successful inspection by ARC, Community Manager issues "Certificate of Compliance"

Variances:

The ARC is bound by the Association's documents and agreements with the City. However, variances may be granted on a case-by-case basis and only upon meeting the following criteria:

1. Unique circumstances.
2. Is reasonable.
3. Does not impose hardship on other owners.
4. Does not violate agreement with the City.

ARC's Contact Person:

The ARC's members should not be contacted individually, because the Committee's business is conducted as a group. Step 2, Step 3 and Step 4 submissions should be emailed to Victor Gardens Community Manager:

Jennifer Campbell
Community Development Inc.
7100 Madison Avenue West
Golden Valley MN
Phone: (763) 225-6424
email: jcampbell@developcommunity.com

Architectural Application

Required with Step 2 submittal



Address: _____ Lot _____ Block _____ Addition _____

Applicant/builder: _____ Contact info: _____

Please check the following Step 2 requirements:

- ☐ ARC Liaison has reviewed this home design and feedback has been incorporated prior to submittal.
- ☐ A preliminary survey or site plan with all required information is included.
- ☐ Home plans and elevations; indicating measurements and scale are enclosed – schematic designs acceptable.
- ☐ Retaining wall plans are enclosed (for homes on walk-out and look-out lots).
- ☐ Location of electric/gas meters and air conditioners are indicated on plans.
- ☐ A completed Architectural Checklist is enclosed.

Preferred Styles include Colonial, Victorian, Federal, Farmhouse, Cape Cod, Tudor, Stick, Shingle, (early) Prairie School, Arts & Crafts Bungalow.

Style of proposed home: _____

Describe the home's exterior materials. Clearly indicate their position on the plans. (i.e. fiber cement siding, painted board & batten, stained wood, stone, brick veneer, etc.) Unless otherwise noted, ARC will assume the materials will be applied on all four elevations in a "whole house" manner.

	Material type
Primary siding	
Secondary siding	
Shakes siding	
Accents/louvers/brackets/other	
Other detailing	
Windows	
Window and door wrap boards	
Corner boards/ band boards /etc.	
Soffit/fascia	
Shutters/decorative vents/ etc.	
Porch decking	
Porch rails, spindles & posts	
Porch skirting	
Front door	
Overhead garage door(s)	
Deck rails, spindles & posts	
Decking type	
Deck support posts	
Deck skirting	
Shingles	
Roof valley treatment (woven, etc.)	
Roof vent type	
Driveway	
Retaining wall (natural stone type)	

Architectural Checklist Required with Step 2 submittal

Please complete the following Architectural Checklist and submit with your Architectural Application. Guidelines are printed in black. Requirements are indicated with a red “REQUIRED”

Section I – General Lot Planning

A Home Site

Design for the unique aspects of the site and neighborhood.

- ☐ A preliminary survey or site plan with all required information (Step 2) – “REQUIRED”
- ☐ A Certificate of Survey is required for final review (Step 3) – “REQUIRED”
- ☐ Respect the site’s topography and existing neighboring structures.

B Tree Preservation

Provide a balance between footprint and preservation of significant trees.

- ☐ Preserve undergrowth in protected forest areas.
- ☐ Tree survey to be provided if there are trees to be saved or removed, those trees should be identified.

C Lot/Home Position

- ☐ Use existing curb cuts
- ☐ Position homes to respect neighbors.

D Set Backs

There are different requirements specified in PUD/development agreements for each phase of the development. For example, there are revised setback requirements on “Villa” lots in Victor Gardens East 2nd Addition, and reduced front yard setback requirements for Victor Gardens East 2nd Addition lots along Val Jean Blvd & Everton Ave. In other areas in which single-family homes are to be built, the following requirements apply:

All noted below are “REQUIRED”

- ☐ Maximum building height: 2 ½ stories or 35 feet.
- ☐ Minimum front yard setbacks:
 - House setback (traditional homes): 15 feet
 - Garage setback (cottage homes): 25 feet
 - Garage setback (side facing): 20 feet
- ☐ Side Yard setbacks:
 - Interior lot (traditional homes): 10 feet
 - Interior lot (cottage homes): 5 feet
 - Interior lot (garages): 5 feet
 - Corner lot (house): 15 feet
 - Corner lot (garage facing street): 25 feet
- ☐ Rear Yard setbacks:
 - House (traditional and cottage): 25 feet
 - Garage (traditional and cottage): 5 feet
- ☐ Setback around the perimeter of the site (exterior property lines): 30 feet.
- ☐ Compliance with minimum lowest floor elevation requirements.

E De-Emphasize the Garage & Emphasize the Home

- ☐ Design house-dominant homes with de-emphasized garage mass and doors. Position garages to reduce their visual impact on the street.
- ☐ No less than 2 spaces or more than 4 spaces.
- ☐ Emphasis should be placed on the home itself and its entrance.

F Accessory Dwelling Units

- ☐ Accessory Dwelling Units are permitted.
- ☐ Size up to 900 sq. ft.

G Two Family Homes

- ☐ Two family homes are permitted. Should be designed to look like S.F. homes, separate garages and entries.
- ☐ Design, style and massing to appear like a larger single family home.

H Hard Surfaces/Paving

- ☐ 16' Driveway Width at curb opening **"REQUIRED"** – may be wider at garage front.
- ☐ Sidewalks shall be required along both sides of all public streets, except cul-de-sacs. **"REQUIRED"**
- ☐ A driveway gradients no greater than 15%, 10%, for 20' apron; 4% at garage.
- ☐ Walk from front entry to back of curb, with steps near street.
- ☐ Homes without front porch must have paved sitting area of at least 100 sq. ft. with overstory, 3" caliper tree to provide shade. Creative paving encouraged.
- ☐ Outdoor living spaces are encouraged.

I Retaining Walls & Grade

- ☐ Retaining walls that pertain to the structure to be shown on the site plan / survey, specifying material choice. **"REQUIRED"** (All other retaining walls may be shown on landscape plan.)
- ☐ Use natural stone, boulders and rock for construction of retaining walls. **"REQUIRED"**
- ☐ Design for graded level changes and natural areas. Show top and bottom elevations.
- ☐ Minimize exposed concrete foundations. Use siding to follow grade contours.
- ☐ Retaining walls should not exceed 6' drops/multiple walls. Break up larger elevation drops with stepped multiple walls.

Section II – Home Design

Provide each individual home with identity and character. Homes must be aesthetically balanced, with details consistent with the selected architectural style.

A Style

- ☐ A clear, consistent style should be communicated in the design.
- ☐ Preferred styles include Colonial, Victorian, Federal, Farmhouse, Cape Cod, Tudor, Stick, Shingle, (early) Prairie School, Arts & Crafts Bungalow.
- ☐ Massing, roof forms, roof pitch and type, garage, porch, deck, windows, doors, accents, details, building materials & trim to be consistent with selected architectural style.
- ☐ Colors and landscaping should support selected style.

B Visual Impacts

- ☐ Emphasize the home's design. Tame the garage. Design and detail the home on all sides.
- ☐ Be mindful of homes' massing as seen from surroundings.
- ☐ Avoid unaccented 2 and 3 story facades.
- ☐ Respond to each lot's on and off site opportunities.
- ☐ Design to establish a friendly relationship with street via porches, decks, graded level changes.
- ☐ "Stage front" appearance will not be permitted. Home's sides and rear should support the style of the home's front elevations with similar trim detailing and sidings.
- ☐ Camouflage garages with setback, porch extensions, arbors, trellises, wing walls or retaining walls.
- ☐ Reduce impact of blank area above garage door(s). Minimize the space between garage door and eave.

C Home to Back of Curb Elevations

- ☐ Provide main floor elevation that is raised 2.5 – 3 feet above the street. 5 to 7 risers typical.
 - ☐ Raise home, add front steps to capture traditional look.
 - ☐ Comply with City's minimum lowest floor elevation requirements. "REQUIRED"
-

Section III – Home Design Details, Materials & Finishes

A Approved Materials List

It is required that you use building materials that are comparable or better quality than existing homes.

The ARC considers the following materials equal or better quality:

- Hardi siding, LP Smart siding, or similar quality fiber cement.
- Natural wood (lap siding, shakes siding, decking, posts, details, ornamentation, railings, spindles, fencing, etc.)
- Architectural/dimensional shingles
- Slate and standing seam (roofing)
- Stucco
- Wrought iron (fencing)
- Composite materials (decking)
- Natural stone, field stone, ledge stone, flagstone, boulders, etc.
- High quality stone veneer & masonry brick (columns, fireplace chase, etc.)

B Unacceptable Materials

Building materials that in the past the ARC has determined **not acceptable** include:

- Vinyl & other plastics (siding, details, ornamentation, fencing, etc.)
- Aluminum (soffits, fascia, siding, ornamentation, fencing, etc.)
- Flat/standard shingles
- Modular/keystone concrete block
- Unpainted pressure treated wood
- Low quality "cultured stone"
- Chain link (fencing)

C Garage Treatments

- ☐ Use 2 story/dormer elements over garages.
- ☐ Use door accents and detailing to break up scale & make it look less dominant. Do not use plain steel doors.
- ☐ Garage walls with no doors should use windows/trim to match home.
- ☐ Below floor line and above grade use stone, cultured rock, siding extensions, lattice, brick, stucco, band board.

D Entry Porch/Stoop

- ☐ Minimum porch width 8 feet.
- ☐ Provide stoop or porch large enough for plants, seating; covered appropriately to home style.
- ☐ For smaller entries without a porch, provide entry setting sized for a minimum of 2 chairs.

E Roof

- ☐ Roof materials, cedar, copper, slate, dimensional shingles, small amounts of standing seam metal acceptable, and color should be muted.
- ☐ Valley flashing of copper, preformed metal or interwoven shingles preferred.
- ☐ Gutter and downspouts integrated to color to style of home.
- ☐ Functional roof vents encouraged: Continuous covered edge vents, shingle over type.
- ☐ Avoid/minimize box vents.

F Architectural Siding, Doors, Windows & Trim – *See Approved Materials List*

- ☐ Must be consistent with selected architectural style; all elevations.
- ☐ Use vents, recessed bays and cantilevers to create interest and shadow lines.
- ☐ Entry door should be dominant. Sidelights and transoms encouraged.
- ☐ Windows/doors must be painted, natural wood, aluminum or vinyl clad.
- ☐ Shutters if used should be sized to look as if they could close over entire window. Do not use shutters with multiple window groups.

G Masonry – Brick/Stone/Cultured Stone

- ☐ First use of masonry should be the fireplace chase, if visually prominent.
- ☐ Masonry fronts must wrap corners to logical stop, but not less than 24”
- ☐ Masonry if used should be in visible locations.
- ☐ Columns must be sized appropriately.

H Fireplace Chase/Chimney

- ☐ Should be reflective of home’s style
- ☐ Decorative caps encouraged

I Direct Vent Fireplaces

- ☐ Permitted, but boxed out dog houses are not allowed.
- ☐ Caps to detailed flue type of box type design

J Decks

- ☐ No deck rim boards or doors to “nowhere”.
- ☐ For homes placed on look-out and walk-out lots and where a sliding glass or French door is provided a post supported deck must be built to a minimum two feet wider than either side of the door and a minimum of four feet in depth. “REQUIRED”
- ☐ If proposed, above ground decks must be supported with minimum 9 1/4” x 9 1/4” columns where visible*, designed in character with massing of the home. Home materials must extend to deck detailing. *Visible; from existing or future (from streets, homes, parks or open space.) The ARC considers all remaining lots to be “visible”. “REQUIRED”
- ☐ Handrails and other details must be consistent with home style.
- ☐ Note future construction.

K Trash Enclosure

- ☐ Provide extra spacing in garage or screened.
- ☐ Trash & recycling receptacles are required to be stored in the garage.

Color Application

Step 4a



Address: _____ Lot _____ Block _____ Addition _____

Applicant/builder: _____

Style of home: _____

Please check all that apply:

- ☐ Proposed colors are stylistically appropriate.
- ☐ Proposed color scheme differs from neighboring homes and homes across the street.
- ☐ Actual paint swatches, material samples, etc. are included.
- ☐ Enclosed elevation drawings indicate specific locations of proposed colors & finishes.
- ☐ Color ID's on the elevation drawings correspond with the list below.

Describe the home's color scheme. Clearly indicate each color's position on your enclosed colored elevation drawings. ARC may return incomplete Color Applications. Unless otherwise noted, ARC will assume the material and color choices will be applied on all four elevations in a "whole house" manner.

	Color (be specific)
Primary siding	
Secondary siding	
Shakes siding	
Window/door trim	
Window/door wrap boards	
Shutters/decorative vents	
Corbels / brackets/other accents	
Gutters/downspouts	
Corner boards/band boards /etc.	
Soffit / fascia	
Stone/masonry/brick	
Other detailing	
Porch decking	
Porch rails, spindles & posts	
Porch skirting	
Front door	
Overhead garage door(s)	
Garage service door	
Deck rails, spindles & posts	
Deck skirt/ support posts	
Shingles	
Other	

Landscape Application

Step 4b



Address: _____ Lot _____ Block _____ Addition _____

Applicant/builder: _____ Contact info: _____

Landscape installer: _____ Contact info: _____

Estimated date of completion: _____

Landscape Budget:

Combined purchase price of home and lot: _____

Calculate 2.5% of combined purchase price: _____
This figure is your minimum Landscape Budget

Cost of trees, shrubs, perennials, other plantings and sod **only**: _____

Cost of irrigation, retaining walls, patios are a separate financial consideration. Do not include these in any of the above calculations. They are not to be part of the Landscape Budget.

Please check all that apply:

- ☐ A professional landscape designer or landscape architect made the enclosed landscape plans.
- ☐ The completed Landscape Checklist is enclosed.
- ☐ The minimum Landscape Budget has been met.
- ☐ The itemized Landscape Budget details are enclosed.
- ☒ A Certificate of Survey indicating home placement is enclosed. *A Lot Sketch is unacceptable.*
- ☐ Retaining wall plans are enclosed (if any).
- ☐ Existing boulevard trees are indicated on plans.
- ☐ Location of electric/gas meters and air conditioners are indicated on plans.

Landscape Checklist

Required with Step 4b submittal

Please complete the following Checklist and attach to your Landscape Application.

Guidelines are printed in black. Requirements are indicated with a red "REQUIRED"

A Lot Preparation & Landscape Requirements

- ☐ Submissions must include a professionally designed landscape plan prepared by landscape designer or landscape architect. "REQUIRED"
- ☐ Fence trees to be saved.

B Corner Lots

- ☐ Corner lots require special review and treatment.

C Grading

- ☐ Erosion and drainage control are builder/owner responsibility.
- ☐ Show erosion control plan.
- ☐ Show stock piles, silt fencing.
- ☐ Encourage blending of grades.
- ☐ Create contouring to enhance privacy, visual interest and amplify plant material impact.
- ☐ Sod all swales 2% swales, minimum slope 6" first 10', 1% on hard surfaces.
- ☐ Contour site to protect mutual drainage

D Paving/Flatwork

Design, materials layout must be submitted for ARC approval.

- ☐ Sidewalks shall be required along both sides of all public streets, except cul-de-sacs. "REQUIRED"
- ☐ Decorative nosings and detail are encouraged.
- ☐ Decorative, stamped, colored or interlocking paving is encouraged.

E Plantings – Trees/Shrubs/Perennials

- ☐ Submissions must include detailed plant list and sizes. "REQUIRED"
- ☐ Boulevard trees shall be planted along both sides of all local streets. The trees shall be planted at a minimum of 50 feet on-center. Please indicate position of existing trees on landscape plan. "REQUIRED"
- ☐ Use 3 – 4" caliper boulevard trees.
- ☐ Planting materials: "REQUIRED"

Required minimum tree sizes:

Deciduous Overstory (shade tree) - 2½ caliper

Deciduous Overstory (clump) - 10' height

Deciduous Ornamental - 2" caliper

Deciduous Ornamental (clump) - 6' height

Evergreen Trees - 6' height

Upright Evergreen shrubs - 4' height

Required minimum shrub sizes: Small Deciduous shrubs - #2

Medium Deciduous shrubs - #3

Large Deciduous shrubs - #5

Evergreen shrubs - #5

Required minimum perennials size: - #1

Required minimum planting quantities:

- ☐ Decks to be shaded by at least one 2-1/2" caliper shade tree.
- ☐ At least 2 ornamental trees in the front yard.
- ☐ At least 3 trees in the back yard.
- ☐ If the home is on a corner, install one additional shade tree on the side yard.

- ☐ At least 20 shrubs specified for the front and sides.
- ☐ Half of the additional trees planted must be deciduous shade trees.

F Mulch / Edging / Sod

Accepted mulch types include:

- Rock mulch including river rock, CA granite, trap rock, Buff Limestone.
- Wood mulch including Cypress, cedar, stained hardwood (golden or brown).

Other requirements and considerations:

- Edging must be vinyl cobra or valley view, brick, or stone.
- Edging is required with rock mulches. It is not required with wood mulches.

Yard areas must be sodded or hydro seeded. Exceptions to lawn area requirement include gardens, planting beds, decks, and play structures.

The area between the curb and the sidewalk must be sodded.

If gardens are located in the back yard, the total of garden and play area shall not exceed 30% of the rear yard area.

F Required Planting Budget “REQUIRED”

Landscape Budget must be at least 2.5% of the combined purchase price of home and lot.

Entire Landscape Budget is to be allocated solely to trees, shrubs, plant materials & sod.

Landscape submissions must include a detailed Landscape Budget.

- Itemize individual costs.
- Group by trees, shrubs, perennials, other planting materials & sod.
- Separate irrigation, retaining walls, and patio details.
- Irrigation systems and retaining walls are a separate financial consideration.

G Required Landscape Plan

- ☐ Submissions must include a professionally designed landscape plan prepared by landscape designer or landscape architect. “REQUIRED”
- ☐ Indicate existing trees.
- ☐ Indicate location of air conditioner, gas meter, etc.
- ☐ ARC reserves the right to require additional landscaping on sides/rears.

H Natural Areas

- ☐ Foundation planting should be consistent with home style.
- ☐ Natural areas encouraged in specific locations.

I Deck Plantings

- ☐ Decks to be shaded by at least one 2-1/2” caliper shade tree.

J Sod

- ☐ Front, side and 20’ in rear yard.

K Fencing

- ☐ ARC approval prior to installation.

L Security Fencing

- ☐ Standard chain link not permitted.

M Decorative Fencing

- ☐ If specified, fencing style and materials must be ARC approved. “REQUIRED”
- ☐ Front yards limited in height, traditional design.
- ☐ Rear fencing standards.
- ☐ All fence designs require ARC approval.

- ☐ Gates, entryways.
- ☐ Privacy/utility screen must compliment home.
- ☐ Invisible fence encouraged for dogs.

N Retaining Walls

- ☐ Preserve trees and compliment home design with retaining materials & slopes.
- ☐ Provide construction details if greater than 3'.
- ☐ Should not exceed 6' drops/multiple walls. Break up larger elevation drops with stepped multiple walls.
- ☐ Landscaping/colors/material consistent with home.

O Mailboxes

- ☐ Are provided by the developer.

P House Numbers

- ☐ Typeface and number height must be met.

Q Lighting

- ☐ If specified, ARC must approve exterior lights. "REQUIRED"
- ☐ Should be in character of home.
- ☐ Should be indirect where possible.
- ☐ Spillover must be avoided to neighboring lots. Light sources must be shielded to prevent glare.
- ☐ Tree lighting should be recessed below ground or behind shrub masses. Down lights should be positioned within the trees, out of primary view.
- ☐ Integrate landscape lighting with deck or other elements.

R Dog Runs/Dog Houses

- ☐ Must be immediately adjacent to home and screened with design materials and trim similar to home

S Pools/Hot Tubs

- ☐ Must be ARC approved.
- ☐ Fitted to landform, terraces, porches and decks, above ground on specific lots that can't be seen by public. Follow code requirements

T Special Requirements

- ☐ Keep construction home site clean daily and free of debris. Builder responsible for blowing debris.
- ☐ Builder/owner responsible for erosion control.

For Further Reference:

The following appendix contains:

- Example schematic home plans (submitted as part of Step 2).
- Street Views – Photographs of existing homes in Victor Gardens, provides references to existing examples of four-sided architecture, variation of forms, styles, colors, materials and details.
- Victor Gardens Design Guidelines

Submission Checklist

The Committee looks forward to reviewing your proposals. Please remember...

- Each proposed home requires its own submission.
- M.S. Word versions of this document, including Applications and Checklists are available upon request.
- Contact the Community Manager for the ARC's monthly meeting schedule or request a special meeting.
- Direct your initial questions and Step 1 submittal to the ARC Liaison
- Direct your Step 2, 3 and 4 questions and submissions to our Community Manager, Jennifer Campbell jbcampbell@developcommunity.com Please do not contact individual ARC members.
- Email Community Manager your PDF submission at least 7 business days prior to ARC meeting.
- Arrangements should be made to drop off material samples and color swatches for your Color App.
- Combine submissions into one or two PDF documents (letter size 8 1/2 x 11)
- Only complete submissions will be considered.
- At a minimum, your submissions must include:

Step 1 / Preliminary Concept Phase - ARC Liaison Review

- ☐ Rough/concept stage elevation drawings, a Lot Sketch, visual references, style research, etc. Submitting these all to the ARC Liaison in PDF format is welcomed.

Step 2 / Preliminary Approval Phase - Submitting an Architectural Application for ARC Review

After Step 1, submit the following documentation in PDF file format at one time. Other formats are not acceptable. Email complete submission to the Community Manager at least 7 days prior to ARC meeting.

- ☐ A completed Architectural Application.
- ☐ A completed Architectural Checklist
- ☐ House plans showing all elevations; indicating measurements, scale, retaining walls, air conditioner and utility locations.- See example
- ☐ A Site plan or certificate of survey indicating placement of home and retaining walls.

Step 3 / Final Approval Phase – Permit ready

- ☐ A Certificate of Survey
- ☐ Construction documents that include full architectural plans. These must match the ARC-approved Step 2 plans (Exception: If ARC requires any changes to your Step 2 plans, those must be incorporated into your Step 3 submission.)

Step 4a / Color Approval Phase

After receiving written approval of your Architectural Application; submit the following documentation in PDF file format at one time. Make arrangements to drop off material samples and color samples with an ARC member in the neighborhood. A complete Color Application submission must be received at least 7 days prior to ARC meeting.

- ☐ A completed Color Application
- ☐ Include actual paint swatches, material samples, etc. *Color printouts and emailed photos are unacceptable.*
- ☐ Elevation drawings indicating specific locations of proposed colors and finishes.
- ☐ Color identification call-outs on elevation drawings that correspond with the Color Application list.

Step 4b / Landscape Approval Phase

After receiving written approval of your Architectural Application; submit the following documentation in PDF file format at one time. A complete submission must be received at least 7 days prior to ARC meeting.

- ☐ A completed Landscape Application
- ☐ A completed Landscape Checklist
- ☐ Your professionally designed landscape plans including location of retaining walls, utilities, a/c units, etc.
- ☐ Your itemized Landscape Budget details.
- ☐ A Certificate of Survey indicating placement of home and retaining walls. *A Lot Sketch is unacceptable*

NOTE: Step 4a & 4b may be submitted at the same time or separately, but only after Step 3 / Final Approval.

EXAMPLE PLAN FOR



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SCHEMATIC ARC PLAN

Jan. 10, 2014

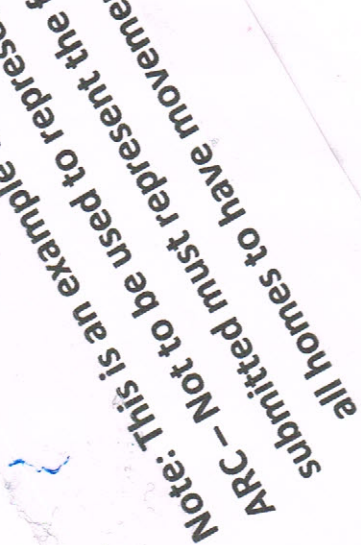


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all homes to have movement and style on all sides. See examples of Victor Gardens Architecture

Note: This is an example that represents the minimum package required by the ARC – Not to be used to represent the form unique to its style – Victor Gardens prefers

Gardens Architecture

A photograph of a brick house with a green bush in front of it. The house has a red brick exterior and a white window frame. The bush is green and leafy. The photograph is positioned in the bottom right corner of the page.

EXAMPLE

PLAN
FOR

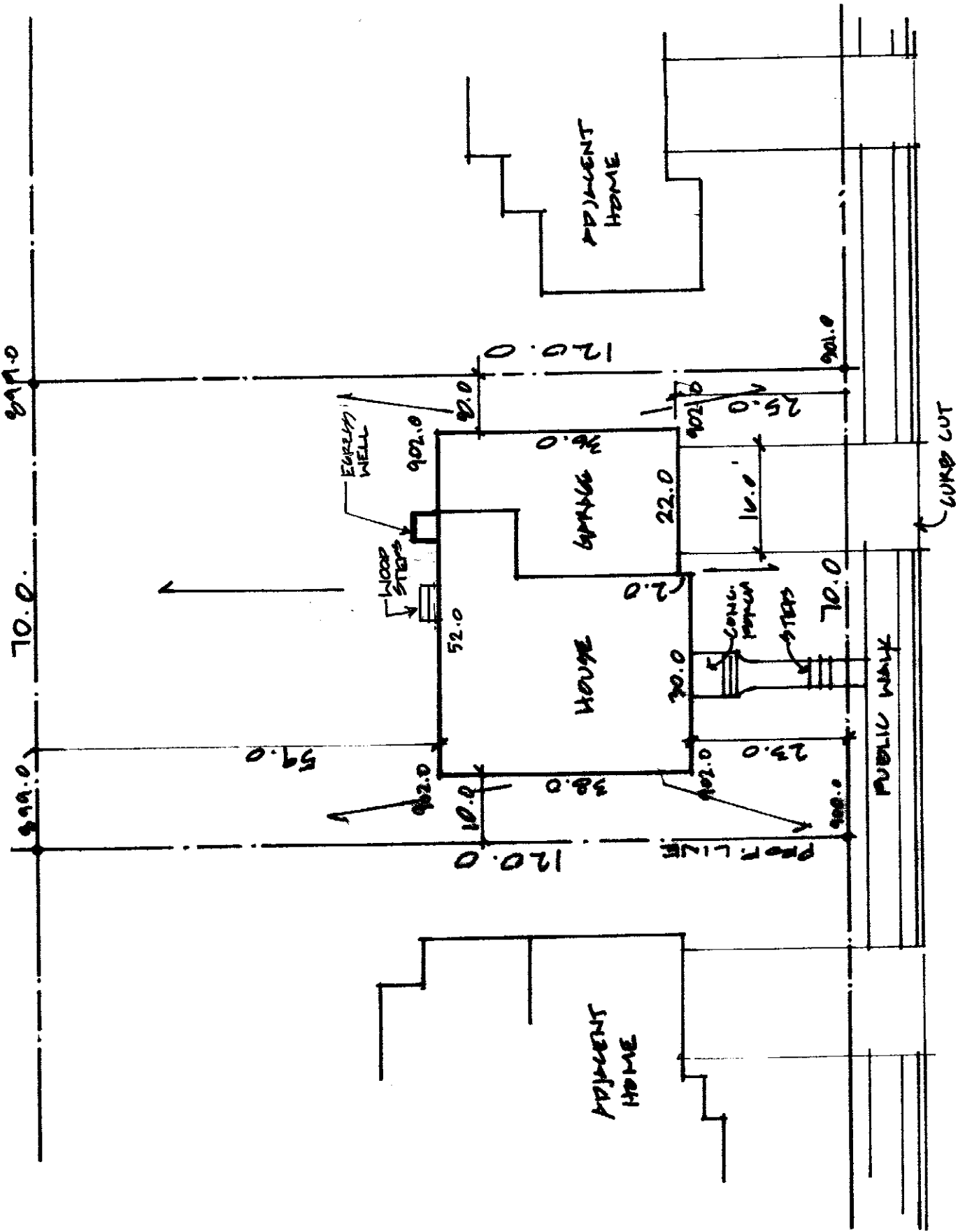


VICTOR GARDENS

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SCHEMATIC
ARC
PLAN

Jan. 10, 2014



S I T E P L A N

EXAMPLE
PLAN
FOR

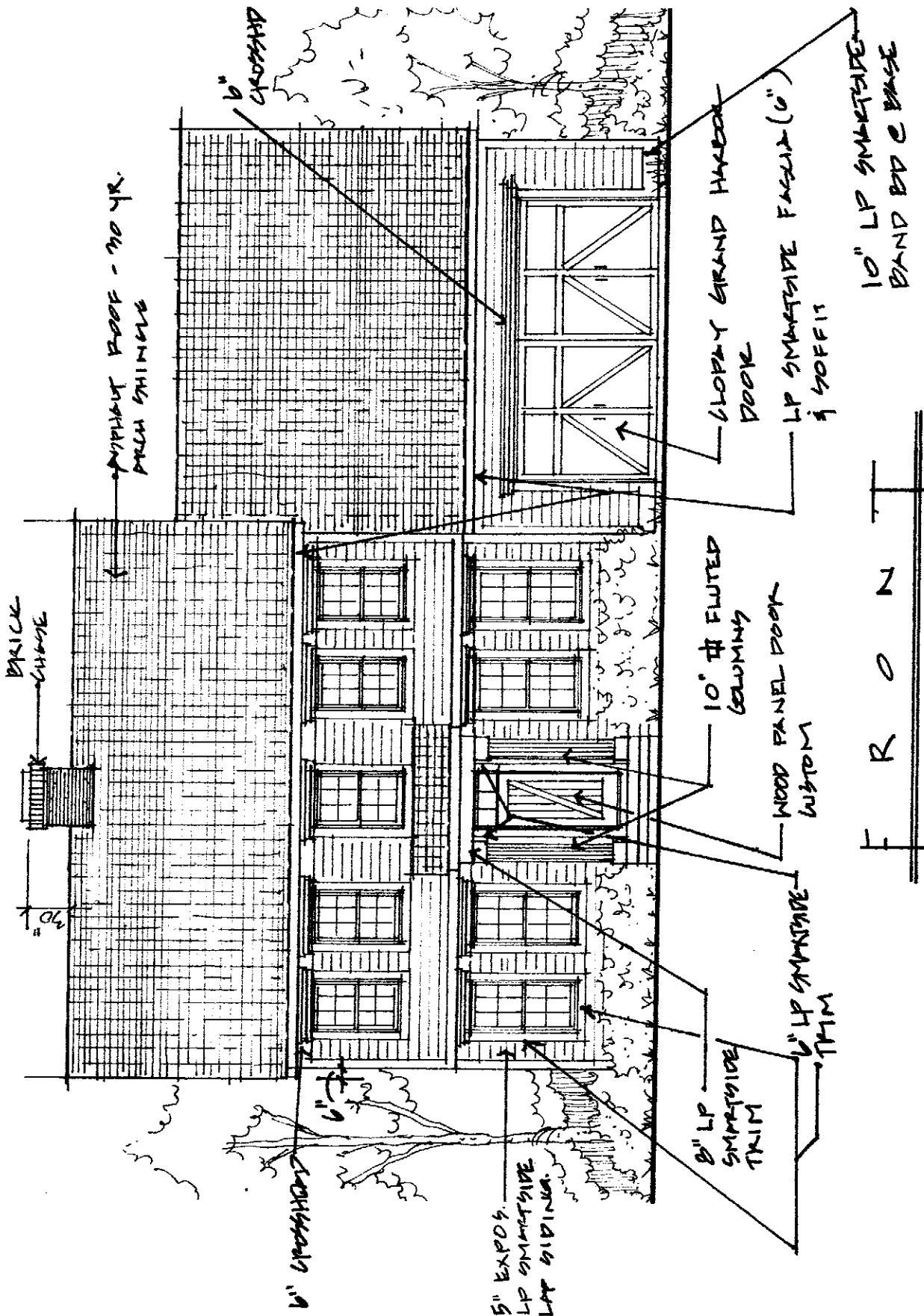


VICTOR GARDENS

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SCHEMATIC
ARC
PLAN

Jan. 10, 2014



EXAMPLE PLAN FOR

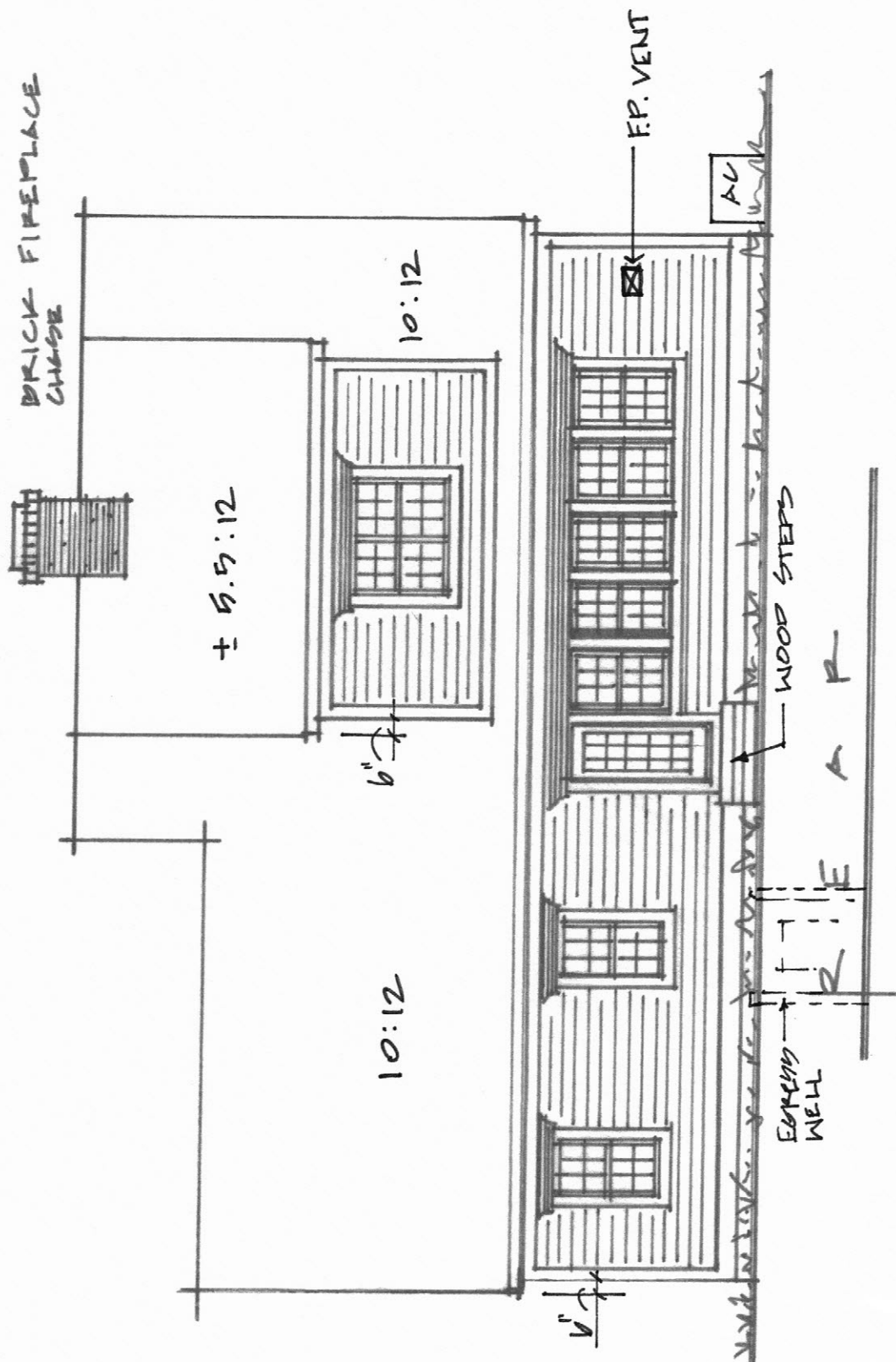


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SCHEMATIC ARC PLAN

Jan. 10, 2014

ALL DETAILS & MATERIALS FROM FRONT SIDES TYPICAL



EXAMPLE
PLAN
FOR

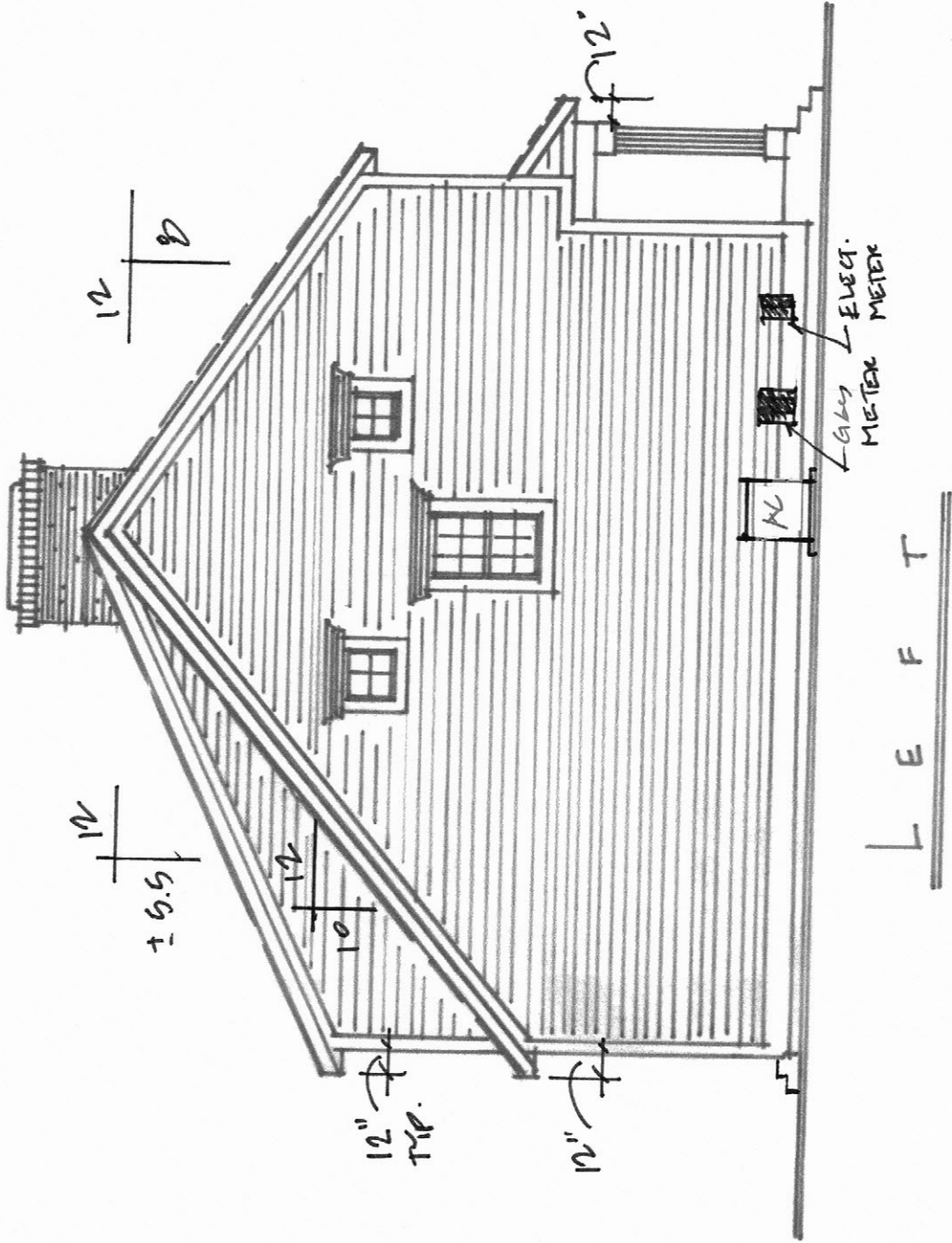


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SCHEMATIC
ARC
PLAN

Jan. 10, 2014

NOTE: ALL DETAILS & MATERIALS TYP. ALL SIDES



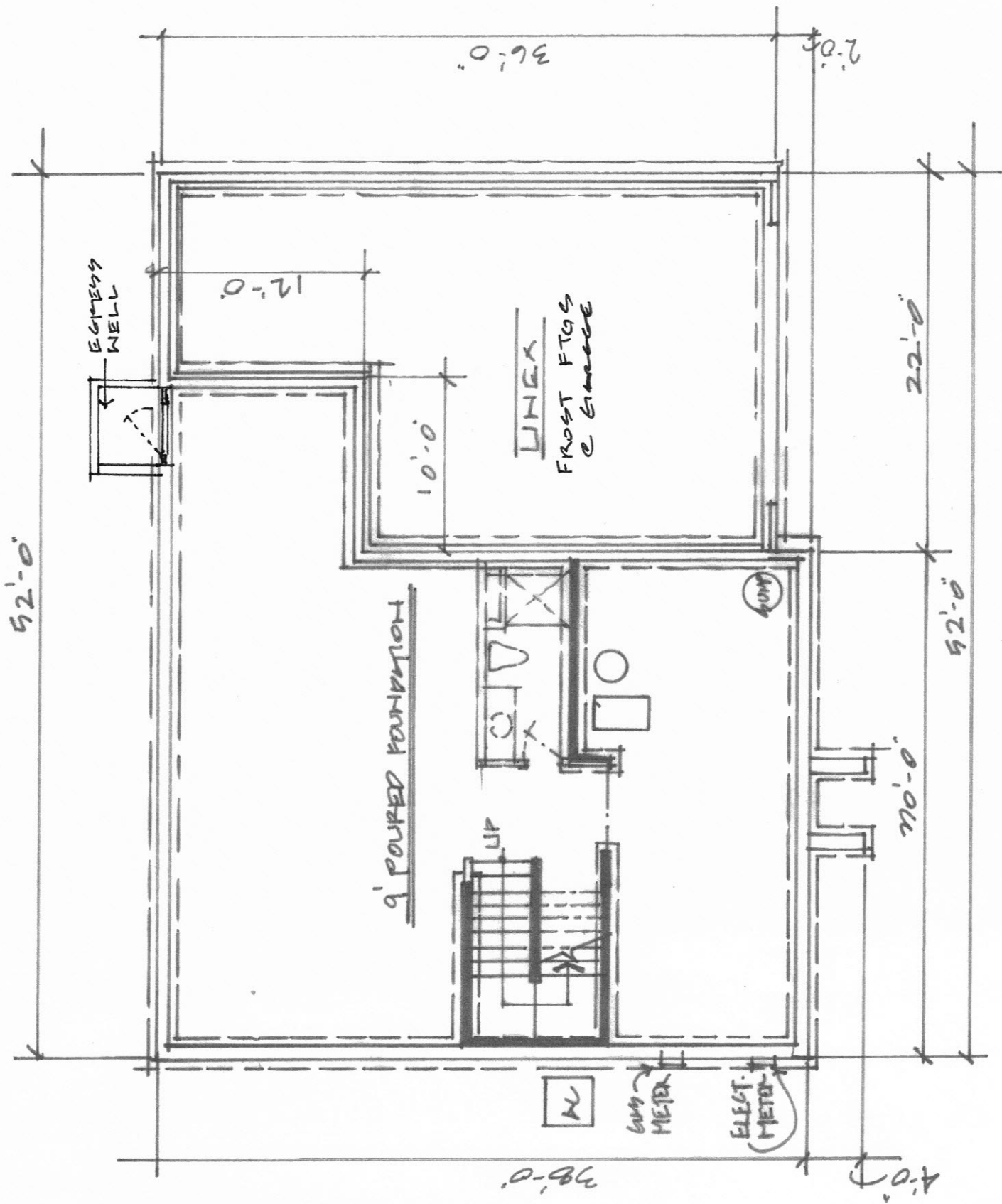
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SCHEMATIC
ARC
PLAN

Jan. 10, 2014



PER PERMIT - 1260 #

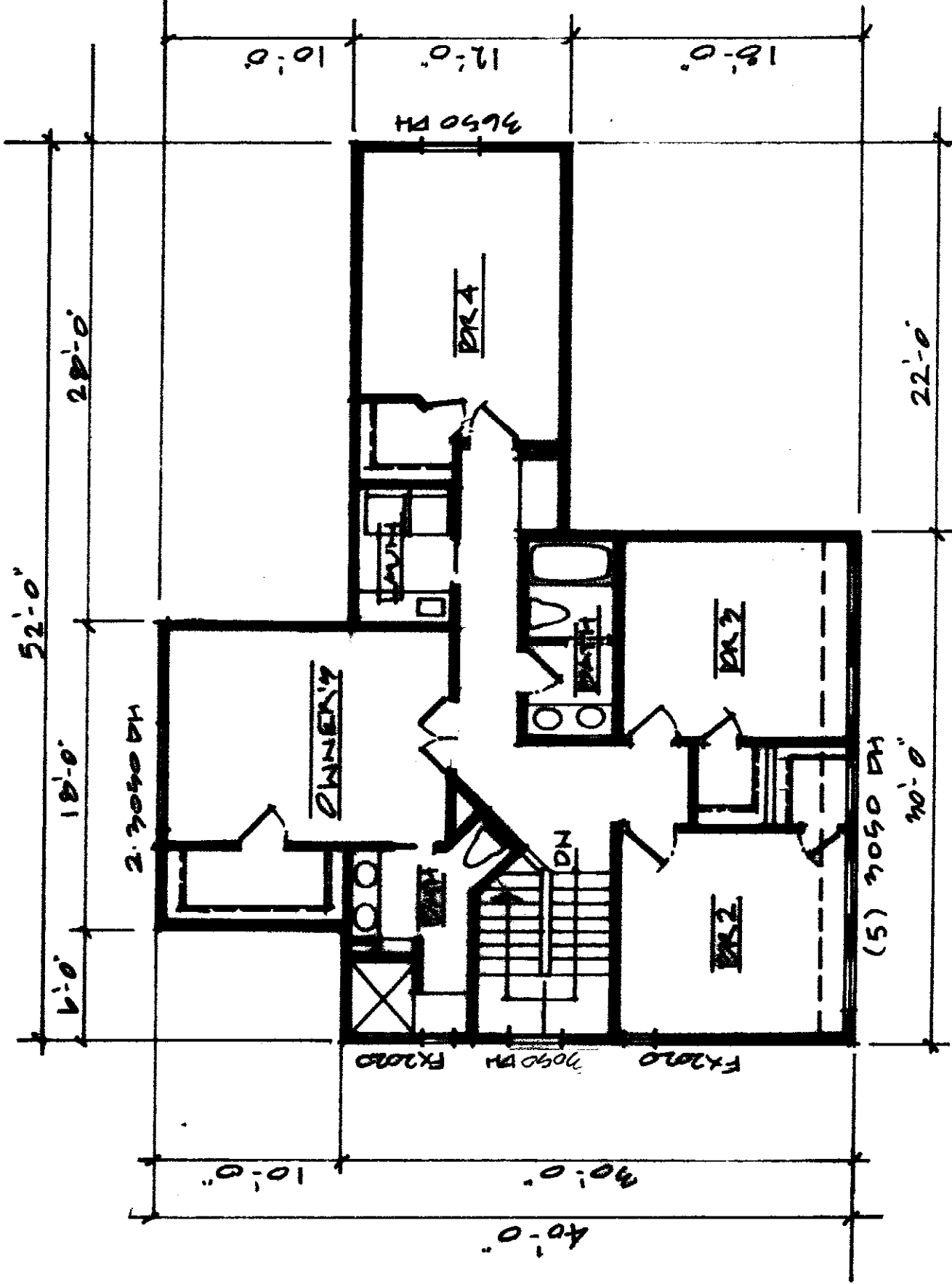
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SCHEMATIC
ARC
PLAN

Jan. 10, 2014



SECTION D. 1720

Victor Gardens - Examples showing four-sided architecture and a variety of forms.



victor gardens 1.jpg



victor gardens 2.jpg



victor gardens 3.jpg



victor gardens 4.jpg



victor gardens 5.jpg



victor gardens 6.jpg



victor gardens 7.jpg



victor gardens 8.jpg



victor gardens 9.jpg



victor gardens 10.jpg



victor gardens 11.jpg



victor gardens 12.jpg



victor gardens 13.jpg



victor gardens 14.jpg



victor gardens 15.jpg

Victor Gardens - Examples showing four-sided architecture and a variety of forms.



victor gardens 16.jpg



victor gardens 17.jpg



victor gardens 18.jpg



victor gardens 19.jpg



victor gardens 20.jpg



victor gardens 21.jpg



victor gardens 22.jpg



victor gardens 23.jpg



victor gardens 24.jpg



victor gardens 25.jpg



victor gardens 26.jpg



victor gardens 27.jpg



victor gardens 28.jpg



victor gardens 29.jpg



victor gardens 30.jpg

Victor Gardens - Examples showing four-sided architecture and a variety of forms.



victor gardens 31.jpg



victor gardens 32.jpg



victor gardens 33.jpg



victor gardens 34.jpg



victor gardens 35.jpg



victor gardens 36.jpg



victor gardens 37.jpg



victor gardens 38.jpg



victor gardens 39.jpg



victor gardens 40.jpg



victor gardens 41.jpg



victor gardens 42.jpg



victor gardens 43.jpg



victor gardens 44.jpg



victor gardens 45.jpg

Victor Gardens - Examples showing style, variety, color and detailing.



victor gardens 46.jpg



victor gardens 47.jpg



victor gardens 48.jpg



victor gardens 49.jpg



victor gardens 50.jpg



victor gardens 51.jpg



victor gardens 52.jpg



victor gardens 53.jpg



victor gardens 54.jpg



victor gardens 55.jpg



victor gardens 56.jpg



victor gardens 57.jpg



victor gardens 58.jpg



victor gardens 59.jpg



victor gardens 60.jpg



victor gardens 61.jpg



victor gardens 62.jpg



victor gardens 63.jpg



victor gardens 64.jpg



victor gardens 65.jpg



victor gardens 66.jpg



victor gardens 69.jpg



victor gardens 70.jpg



victor gardens 74.jpg

Victor Gardens - Examples showing style, variety, color and detailing.



victor gardens 75.jpg



victor gardens 85.jpg



victor gardens 88.jpg



victor gardens 89.jpg



victor gardens 95.jpg



victor gardens 98.jpg



victor gardens 99.jpg



victor gardens 100.jpg



victor gardens 102.jpg



victor gardens 103.jpg



victor gardens 104.jpg



victor gardens 105.jpg



victor gardens 106.jpg



victor gardens 108.jpg



victor gardens 109.jpg



victor gardens 110.jpg



victor gardens 111.jpg



victor gardens 113.jpg



victor gardens 115.jpg



victor gardens 116.jpg



victor gardens 117.jpg



victor gardens 128.jpg



victor gardens 134.jpg



victor gardens 135.jpg

Victor Gardens - Examples showing style, variety, color and detailing.



victor gardens 136.jpg



victor gardens 142.jpg



victor gardens 143.jpg



victor gardens 144.jpg



victor gardens 145.jpg



victor gardens 146.jpg



victor gardens 147.jpg



victor gardens 148.jpg



victor gardens 149.jpg



victor gardens 150.jpg



victor gardens 151.jpg



victor gardens 152.jpg



victor gardens 153.jpg



victor gardens 154.jpg



victor gardens 155.jpg



victor gardens 156.jpg



victor gardens 157.jpg



victor gardens 158.jpg



victor gardens 159.jpg



victor gardens 160.jpg



victor gardens 161.jpg



victor gardens 162.jpg



victor gardens 163.jpg



victor gardens 164.jpg

Victor Gardens - Examples showing style, variety, color and detailing.



victor gardens 165.jpg



victor gardens 166.jpg



victor gardens 167.jpg



victor gardens 168.jpg



victor gardens 169.jpg



victor gardens 170.jpg



victor gardens 171.jpg



victor gardens 172.jpg



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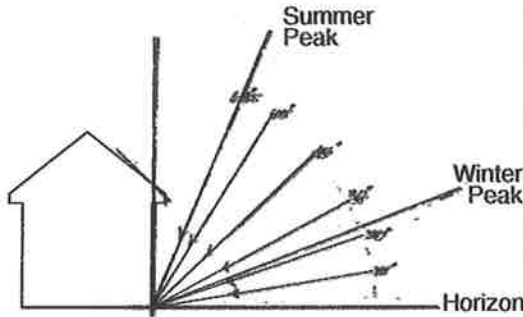

VICTOR GARDENS

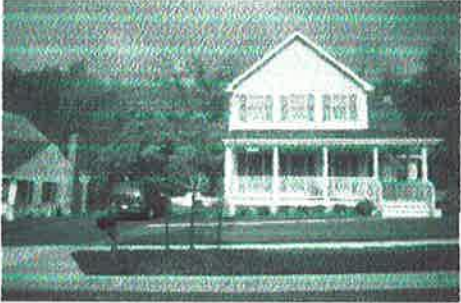
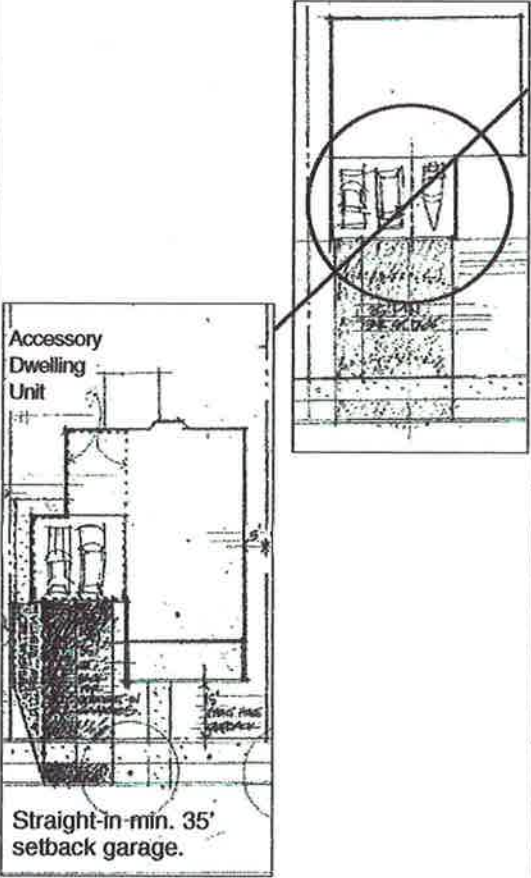
Residential Design Guidelines

Architectural Review & Design Guidelines
for the Architectural Review Committee (ARC)

I. LOT PLANNING GENERAL GUIDES

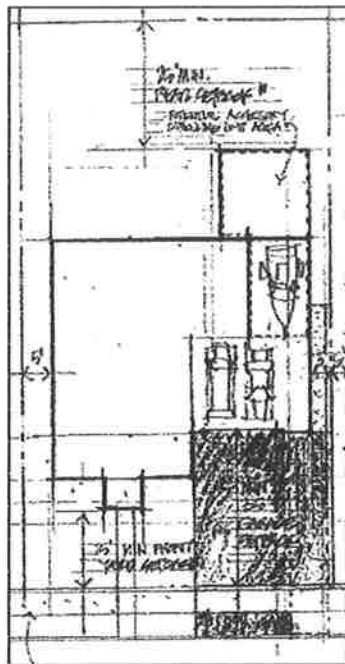
Careful siting of each home should seek to fit the topography, blend with significant existing vegetation, views, open space and other features that define the character of this neighborhood. These guidelines will further this goal by establishing criteria aimed at achieving quality levels of landscape architecture and sensitive site plans. Our goal is beautiful streetscapes and open spaces, interesting and complementary lot amenity features, paving and planting design. Careful consideration must be made for future additions: decks, fences, and screened porches. Consultation with an experienced landscape design consultant is recommended at the early stages of home and site planning.

SUMMARY	EXAMPLE	DETAIL
Design for the unique aspects of your home-site and the neighborhood.		A. HOME SITING <ol style="list-style-type: none"> 1. Home plan and siting should take advantage of sun, views and provide for both privacy and front yard neighboring opportunities, while also creating attractive off-lot impacts and considering sight lines of other homes. 2. Respect the existing topography and work with it. Adapt it with natural forms and retaining that continues the lines of the home. 3. ARC may require maintenance of sight lines of other homes to natural or built amenities.
Refer to specific tree locations and elevations and try to provide a balance between home position, "foot print" and preservation of significant trees.		B. TREE PRESERVATION <ol style="list-style-type: none"> 1. In concept planning identify the trees you will be saving and those that appear to require removal. 2. Preserve undergrowth in protected forest areas. Pathways are appropriate. 3. For Concept ARC Review Plan submittal, show the location, size species, and elevation of existing trees greater than 8 inches in diameter and oaks, hickory and sugar maple greater than 2 inches in diameter within the proposed area to be disturbed and within 20 feet thereof.

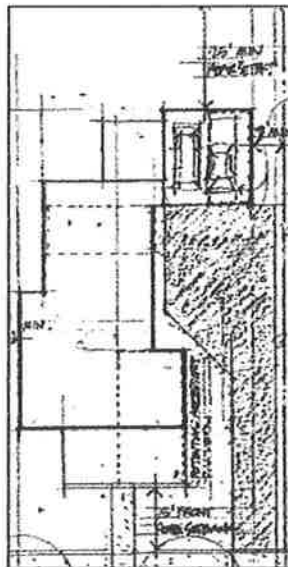
SUMMARY	EXAMPLE	DETAIL
<p>Position garages to reduce their visual impact on the street. Cause the active, visually interesting features of the house to be prominent on the streetscape.</p>		<p>C. LOT-HOME POSITION GUIDE</p> <ol style="list-style-type: none"> 1. Respond to ARC garage and home position from ARC-provided Lot Planning Guide. 2. On vertical curb streets, utilize existing curb cut or pay for new curbcut location and street restoration/repair. 3. Homes should be positioned with/in respect to existing homes and in anticipation of siting of future homes. (See: The A.R.C. Lot/Home Location Guide.) <p>D. HOUSE-DOMINANT HOME DESIGNS</p> <ol style="list-style-type: none"> 1. Design homes with "tamed garages", emphasizing a home's elevations, to building massing and architectural detailing, including a recognizable style, or dominant or tasteful blend. <p>E. VICTOR GARDENS'S REDUCED SETBACKS</p> <ol style="list-style-type: none"> 1. 15' setback from front property line allows/ motivates use of deeper floor plans.
<p>Design house-dominant homes with de-emphasized garage mass and doors.</p>		<p>F. TAMING THE GARAGE:</p> <ol style="list-style-type: none"> 1. With reduced lot widths and budget conscious home design, house-dominant designs require creative two and three car garage positioning to screen, diminish impact from road, while emphasizing home entry and approach. 2. Provide not less than two car or more than four spaces without ARC approval. 3. Position garage to emphasize house and minimize garage including: <ul style="list-style-type: none"> • 3 car L-shaped garages with tandem spaces, • turned garages at side streets, • side load garages and • limited use courtyard of garages (where lot width permits). 4. On lookout or walkout lots, accent garages (with two 1 car doors or one 2 car door) to provide greater design interest yet meet homeowner's need for greater storage.

SUMMARY

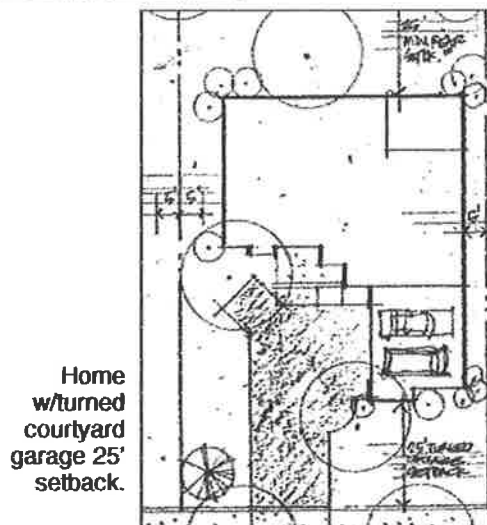
EXAMPLE



Straight-in
garage w/min.
35' setback: 3
car Tandem.

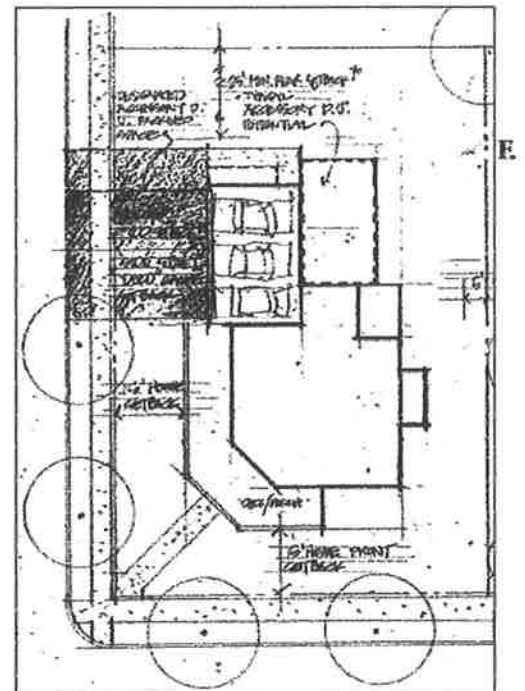


Front loaded,
rear garage.



Home
w/turned
courtyard
garage 25'
setback.

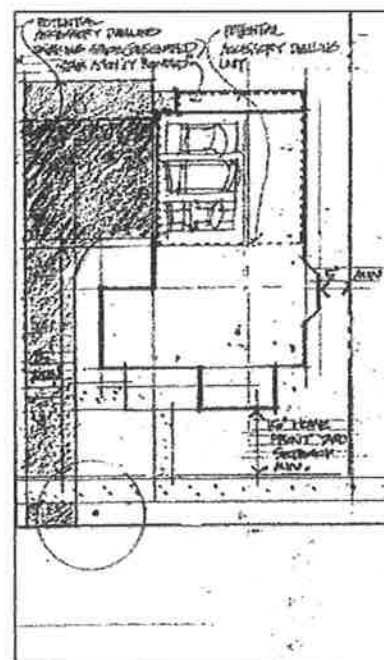
DETAIL



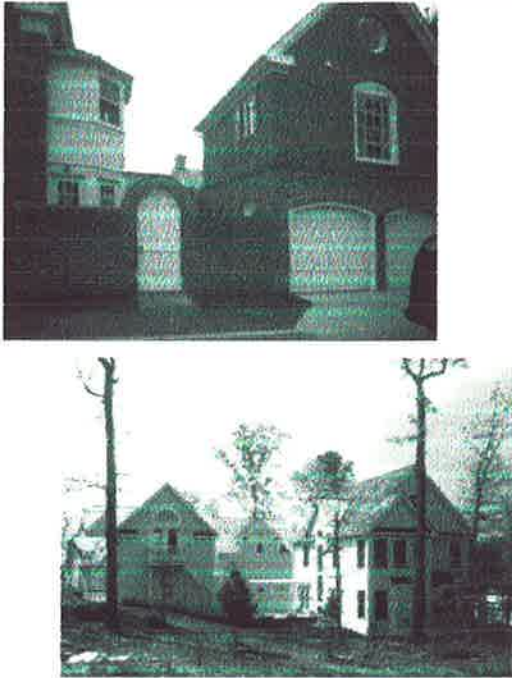
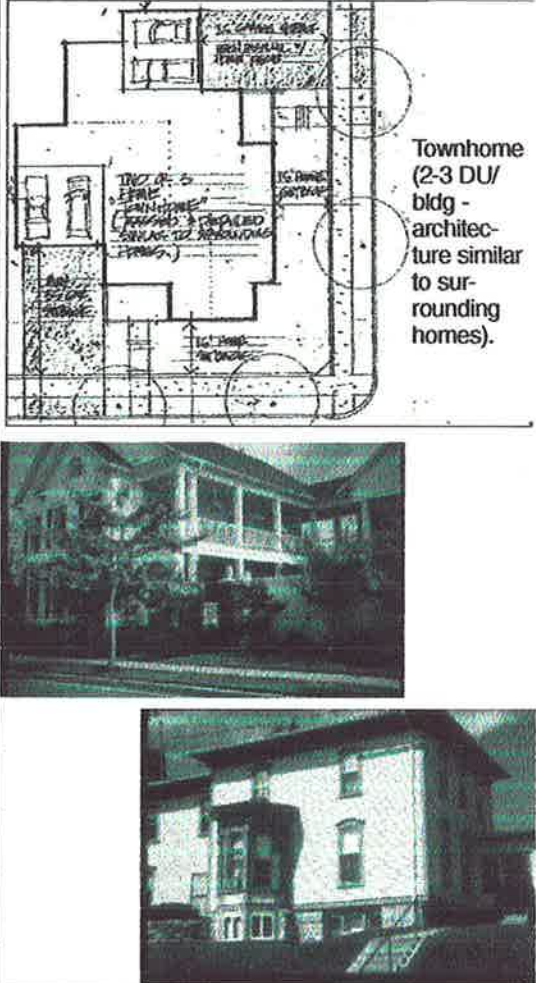
Corner home w/garage @ side street.



TAM-
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THE
GARAGE:
continued



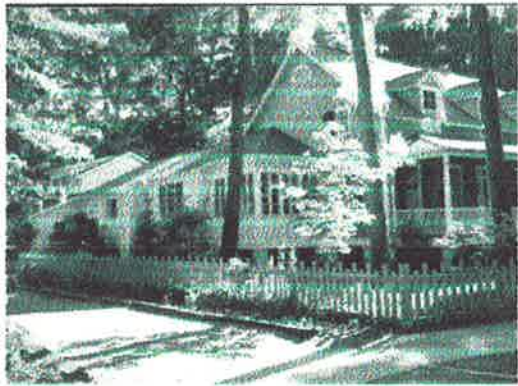


Side loaded garage.



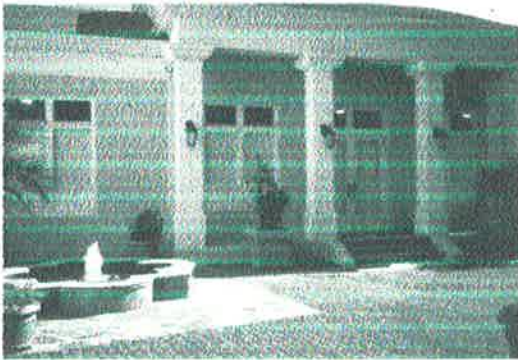

SUMMARY	EXAMPLE	DETAIL
<p>Accessory dwelling units "carriage homes", ... "granny flats" are a permitted use and structure.</p>		<p>G. ACCESSORY DWELLING UNITS</p> <ol style="list-style-type: none"> 1. 900 s.f. accessory dwelling units are permitted in Victor Garden homes. 2. "Flex space" designs for alternate use of garages/homes can provide space for an accessory dwelling unit, office, craft space, etc.
<p>Attached single family dwelling homes for two families are encouraged on corner lots.</p>	 <p>Townhome (2-3 DU/ bldg - architecture similar to surrounding homes).</p>	<p>H. TWO-FAMILY HOMES</p> <ol style="list-style-type: none"> 1. Design structure to look like single family home, with garages at either end or grouped in a way to shield visibility. Separate garages and entries should be screened from view from the same vantage point. 2. Exterior design, massing, selected style, and detailing must cause structure to appear as a larger single family detached home.

SUMMARY	EXAMPLE	DETAIL
	 <p data-bbox="532 793 711 823">Front entry walk.</p>	<p data-bbox="1019 205 1403 235">I. HARD SURFACES/PAVING</p> <p data-bbox="1036 247 1230 277">1. DRIVEWAYS</p> <p data-bbox="1052 281 1529 394">a. Driveway gradient no greater than 15%. preferred drive not greater than 10% to 20' deep apron area at garage no greater than 4% slope.</p> <p data-bbox="1052 424 1507 483">b. Driveways to be narrowed in the front yard area and curb cut locations.</p> <p data-bbox="1036 512 1266 541">2. FRONT WALKS</p> <p data-bbox="1052 546 1529 747">a. With or without a side walk, each home is to have a walk from the front entry/porch to the back of curb, preferably with steps near the street right-of-way line/back of sidewalk (exception: lots with unusually long drives or steep topography).</p> <p data-bbox="1045 777 1253 806">3. PAVED AREA</p> <p data-bbox="1052 810 1539 1012">a. Homes without a front porch must have a paved sitting area in the front portion of the lot at least 100 s.f. A deciduous overstory or understory tree, minimum 3" caliper must provide shade for the area. Creative/multi-use of paved surfaces is encouraged.</p>
	 <p data-bbox="532 1339 688 1369">Natural areas.</p>	<p data-bbox="1019 1037 1334 1066">J. RETAINING WALLS</p> <p data-bbox="1019 1079 1529 1167">1. In the ARC Review submittals, show the top and bottom elevations of proposed retaining walls.</p> <p data-bbox="1019 1197 1529 1339">2. Design for front and rear yard natural areas. Position ground cover, trees and shrubs in response to ARC - recommended tree massing, berming and natural area plans.</p>

II. HOME DESIGN GENERAL GUIDES

Provide each individual home its own identity and character. Homes must be aesthetically balanced, with details consistent with the selected architectural style, and built with quality materials and workmanship. Homes not demonstrating adequate design variety will not be approved by ARC.

SUMMARY	EXAMPLE	DETAIL
<p>Emphasize the home's design.</p> <p>Tame the garage.</p> <p>Design and detail the home on all sides.</p>	  <p>Porteco/covered entry at side leads to rear garage.</p>  <p>Trellis/arbor/pergola as garage camouflage.</p>	<p>A. VISUAL IMPACTS</p> <ol style="list-style-type: none"> 1. Create attractive off-lot visual impacts. Be mindful of the home's massing as seen from surrounding road approaches and when viewed with other adjacent and surround homes. Avoid unaccented 2 & 3 story facades. 2. Respond to each lot's on and off- site opportunities to help define the views, the home's outdoor spaces and guide positions of home interior spaces 3. Select home design/ floor plans that establish a friendly relationship with the street via porches, decks, gradual level changes and anteways, entry sitting areas, courtyards, patios, terraces, sheltered entrys, etc. 4. Price efficiency can come with simpler, lower room-count, "box-on-box" floor plans, blended with modern, shared-space room layouts. 5. "Stage front" appearance will not be approved. The home's sides and rear should support the style of the home's front elevations, with similar trim, detailing & sidings. 6. Camouflage garages with setbacks from home front, with porch extensions, arbors, trellises, wing walls or retaining walls. Hide garbage & recycle bins through design, integral walls, fences, roofs. 7. Add steps from garage to home, provide headroom at garage service door. Allow space for added risers in garage and/or transition rooms within home, such as laundry/mudroom. Design should reduce impact of blank area above garage door(s) (ie. lowered roof line, trim/details.)

SUMMARY	EXAMPLE	DETAIL
<p>Provide main floor elevation that is raised 2 1/2 to 3 feet above the street elevation. 5 to 7 risers typical.</p>	 <p>With reduced front setbacks (that encourage neighboring), raise home to protect privacy.</p>	<p>B. HOME TO BACK OF CURB ELEVATION</p> <p>1. Raise home, with added front steps to capture the traditional look particularly with reduced setbacks... can turn on-grade homes to look-outs, look-outs to walkouts.</p>
<p>Pick a style, know and design to its' conventions.</p>	  	<p>C. ROOF PITCHES</p> <p>1. The roof on each home is one of the most important visual masses on the house. Roof slopes and overhangs must be appropriate to the selected individual style: Research your style, know its conventions.</p> <p>2. Design and refine well thought out, simple and strong roof forms. Increased roof pitches are generally preferred (except for some bungalow and prairie styles.)</p> <p>D. HARDSCAPE TERRACES/PORCHES/OUTDOOR LIVING SPACES</p> <p>1. Outdoor living spaces can provide effective transition between home, outdoors, and a place of interaction with neighbors. These could include patios, decks, gardens, terraces, seating areas. If a porch or terrace is prepared shown and labeled, it should be of sufficient size to allow seating for 2, minimum. Sheltered entries (without seating areas are acceptable) but then a terrace or other hard surface seating area at the front of the home must be provided.</p>

III. DETAIL HOME DESIGN GUIDES

The design of the homes for Victor Gardens will require a blend of standardized plans and custom adaptation to site and home owner needs and likes and Victor Gardens's streetscape will grow in character from the addition of one tasteful home after another. This depends a lot on details.

SUMMARY

EXAMPLE



**Minimum
porch width 8
feet.**

DETAIL

A. PREFERRED STYLES

- Designs utilizing modern floor plans within an architectural theme.
- Colonial, • victorian, • federal, • farmhouse, • cape cod, • tudor • stick, • shingle, (early) prairie school • arts & crafts bungalow.

B. PREFERRED MASSING

- 2 story, • story & 1/2, • ranch, • 2 story with attic dormers.

C. GARAGE TREATMENTS

1. Use two-story/ dormer elements over garages for architectural interest and bonus space.
2. Garage door accents and detailing should be used to break up its scale & designed to echo home style/ detailing, making it look less dominant, more a continuation of the structure. Do not use plain flush steel doors.
3. Where there are garage walls with no doors, there should be windows that match other windows & trim/ architectural details of the home.
4. In area below floor line and above grade, use stone, cultured rock, siding extensions, lattice, brick, stucco and "band" / verge boards.

D. ENTRY PORCH/STOOP

1. Provide a stoop or entry porch (of useable size), large enough for plants and seating. They should be covered by an overhang, roof, trellis, portico or detail appropriate to home style.
2. Where a smaller sheltered entry is planned without a porch, provide an entry setting such as veranda, terrace or patio suitably sized for a minimum of two chairs.

SUMMARY

EXAMPLE



DETAIL

E. ROOF MATERIALS

1. Well proportioned overhangs, fascia, gutter, soffit, frieze, window trim & details, skirt board & corner treatment, supportive to selected dominant architectural style.
2. Roof materials may include cedar shakes, copper, slate, or a minimum of 250 lb. tabbed asphalt, "dimension" shingles. Small amounts of prefinished standing seam metal may be acceptable. Colors should be muted, dark shades with shadow coloring.
3. Valley flashing of copper, prefinished metal, or interwoven shingles are preferred.
4. Gutters and downspouts must be integrated to color and style of house.
5. Functional roof vents are encouraged. Continuous covered ridge vent, shingle-over type should be used. Avoid / minimize box vents.

F. ARCHITECTURAL SIDING & TRIM

1. Use materials & Architectural trim consistent with home and selected home style.
2. Use vents, recessed bays & cantilevers to create interest & shadow lines.
3. Exterior materials of masonry brick, stone, stucco and natural wood are preferred. Use great care in selection of "cultured stone" products for ARC. Samples are required.
4. Stained & prestained wood, clad, cementous materials or composites will be accepted if sample or manufacturer's catalog with trim indicated and color specified are submitted. b Other vinyl sidings may be approved by ARC. Wolverine vinyl siding/trim system is ARC approved. Specific colors and treatment must be ARC approved for each home.

G. MASONRY - BRICK/STONE, CULTURED STONE.

1. The first masonry on the house should be the fireplace chase, if visually prominent.
2. Masonry fronts must wrap corners to a logical stop, but no less than 24".

SUMMARY

EXAMPLE



DETAIL

3. Masonry, if used, apply in locations most visible.

4. Columns must be sized appropriate to their height and building mass supported.

H. FIREPLACE CHASE/CHIMNEY

1. Should reflect the home's style. Masonry chimney is preferred.

2. Decorative chimney caps/screens are encouraged.

I. DIRECT VENT FIREPLACES

1. Are permitted but boxed out "dog-house" forms are not allowed.

2. Chimney caps should be detailed flue top of box type design. An all wood chase is required to have an ARC approved flue cap.

J. DOORS AND WINDOWS

1. The entry door is expected to be a dominant feature. Sidelights and transoms are encouraged.

2. Use energy-efficient, quality doors & windows selected to fit the architectural style.

3. Select window grilles to be in character with architectural style.

4. Sliding doors are encouraged to mimic wider stile French doors.

K. WINDOW TRIM

1. Windows must have exterior trim consistent with selected architectural style; all elevations.

2. Windows and doors may be painted, natural wood, aluminum, or vinyl clad. Muted accent colors are encouraged - i.e., forest green, burgundy, colonial blue, etc.

3. Shutters, if used, should be sized to look as if they could close over entire window. Do not use with multiple window groups.

L. DECKS

1. Must be consistent with home design/style and should be an extension of the home.

2. Above ground decks must be supported with 9 1/4" x 9 1/4" or equal mass

SUMMARY

EXAMPLE



DETAIL

columns where visible*, designed in character with the massing of the home. Minimum of 6" x 6" column where decks will not be visible* from existing or future streets or residences. If deck is more than 2' above grade and visible*, screening below deck must be provided. Home materials must extend to deck detailing.

*visible; from existing or future streets, homes, parks or openspace.

3. Handrailing design and detailing should be consistent with the home's chosen style.

4. Cedar, redwood and wood composite wood construction is encouraged. Painted or stained depending on home style.

5. Future construction/decks should be included with the plans for approval, but indicated as future construction.

M. TRASH ENCLOSURE

- Accommodate garbage and recycle bins through added garage width or depth, wing-wall extensions, fence enclosure extensions, retaining walls.

IV. DETAIL SITE DESIGN GUIDES

SUMMARY

EXAMPLE



DETAIL

A. LOT PREPARATION

1. Lot development plan and landscape plan must be prepared by competent, experienced landscape designer or landscape architect.
2. Completely fence trees that are to be saved at a distance of 1.5 feet times the tree diameter in inches.

B. CORNER LOTS

1. Corner lots will have special review ensuring that each exposure to the street has received equal landscaping attention.

C. GRADING

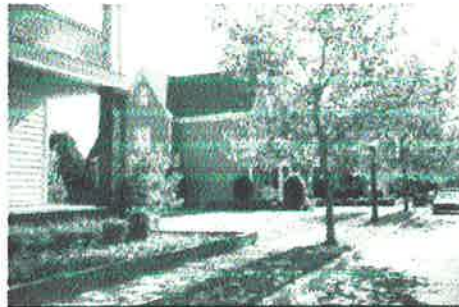
1. Builder's and owner's responsibility to prevent erosion and assure positive drainage.
2. Show erosion control plan with responsible party and schedule of tasks.
3. Show locations of topsoil stockpiles and fill soil stockpiles, and proposed silt fences.
4. Avoid abrupt slope intercept between existing and disturbed soil surfaces, and encourage rounding which blends into the natural grade.
5. Create contour and grade changes to enhance privacy, visual interest and amplify plant material impact.
6. Sod all swales. Minimum: swales min. 2% swales, minimum drainage slope 6" in first 10' away from all building sides. 1% on hard surface.
7. Contour site to protect mutual drainage issues and existing or potential basements.
8. Design, materials and layout must be submitted for ARC review prior to ordering.

SUMMARY

EXAMPLE



Decorative paving materials



Regularly spaced 3-4" caliper deciduous boulevard trees.



Front yard planting must include foundation planting as well as overstory trees.



Careful tree & shrub positioning softens & blends homes to the streetscape.

DETAIL

D. PAVING/FLATWORK

1. Flatwork and steps with decorative nosings and detail are encouraged at the front yard as well as the rear yard.
2. Decorative or colored paving is encouraged. This includes decorative expansion joints, break lines, stamped and colored asphalt ("Street Print" or equal), stamped and colored concrete ("Bomanite" or equal), brick or colored concrete, interlocking pavers.
3. Position retaining walls and slopes to preserve trees where possible. Select wall materials and colors to compliment the home design and material.

E. PLANTING

1. Site planting plan common and must include a plant list containing scientific names, sizes and planting conditions (balled and burlapped, potted, bare root, container grown, tree spade, etc.)
2. Regularly spaced 3-4" caliper deciduous boulevard trees should conform to ARC guide site plan.
3. Front yard landscapes are to respond to development planting and A.R.C. recommended planting plan.
4. Front yard planting must include foundation planting as well as both overstory, deciduous and coniferous trees, understory trees and shrubs.

F. REQUIRED PLANTING BUDGET:

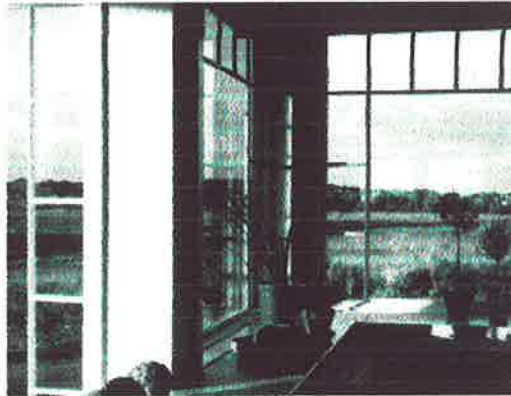
1. The budget for the Landscape Planting Plan must equal or exceed 2-3% of the home's value. See landscape policy agreement.

G. REQUIRED LANDSCAPE PLAN

1. A professional landscape plan must be prepared by a competent landscape designer or landscape architect.
2. ARC reserves right to require additional landscaping (above the minimum landscape budget) on lots where side and rear house elevations are highly visible to views from off-lot, and/or where lack of architectural design or detailing must be offset/screened with vegetation.

SUMMARY

EXAMPLE



Natural areas, woven with mowed turf areas, help to define outdoor rooms.



Select wet-association plants near water and upland planting for higher areas.



Traditional fencing materials of brick & iron.

DETAIL

H. NATURAL AREAS

1. Foundation plantings should be executed in a manner consistent with each home's style. (Soften blank walls, shelter entry walks, hedges for formal design.)

2. Natural areas refer to landscape features which function as visual edges to frame each lot. They help define the outdoor "rooms". In the front yard natural areas would generally be located close to the street, possibly adjacent to the lot line so the same idea could be continued by the neighboring lot owner. In the back yard natural areas are encouraged at or about the rear and/or adjacent side property lines. Natural landscape treatments should not replace foundation plantings. Natural areas must be a mutually agreed upon with the ARC and would include:

Examples:

- a. Natural forest emergent vegetation theme:
- b. Prairie grasses, wildflowers or other perennial ground covers.
- c. Formal garden theme: Rose bush garden, Formal perennial garden
- d. Patch of forest theme: a stand of young Aspen (this will require 10 to 20 trees, although they could be as small as 1" caliper.)

I. DECK PLANTING

1. Decks to be shaded by at least one 2 1/2" caliper deciduous shade tree.

J. SOD

1. Minimum sod: front, side and 20' in rear yard unless it runs into a 3:1 slope. Slopes must be sodded and staked or seeded with appropriate grasses, mulch or other A.R.C. treatment.

K. FENCING

1. All fence designs must be reviewed by the ARC prior to installation.

L. SECURITY FENCES

1. Standard chainlink fences will not be approved by ARC.

M. DECORATIVE FENCES

1. Front yard fences must be limited in height, must be approved by A.R.C., and are strongly encouraged to be traditional. Design: ie. picket, wrought iron...

SUMMARY

EXAMPLE



Picket fences with larger posts at ends & corners.

DETAIL

2. Wood or approved vinyl white, tan or grey picket or black, green or cream wrought iron fencing allowed in rear yards.
3. All fence designs must be reviewed and approved by the ARC prior to installation.
4. If fences are used, gates and archways are encouraged as a welcoming entry to property.
5. Privacy or utility screening must integrate with and compliment the architecture.
6. "Invisible fences" are encouraged should be used for dog enclosures.

N. RETAINING WALLS

1. Preserve trees & compliment home design with retaining materials & slopes.
2. Construction details should be provided for retaining walls greater than 3 feet exposed height.
3. Retaining walls should not exceed 6' per wall in height and be constructed of materials such as stone, veneer or decorative concrete block (i.e., keystone). Break up larger elevation drops with stepped multiple walls.
4. Landscape wall, surface materials and colors shall be consistent with accent materials used on home.

O. MAIL/NEWSPAPER BOXES

- Mail and newspaper boxes will be provided and installed by the Developer.

P. HOUSE NUMBERS

- Front yard house address identification standards (typeface & number height requirements) must be met.

Q. LIGHTING

1. Exterior light fixtures should be in character & style of home.
2. Lighting sources should be indirect where possible, with all lighting in shades of white (no colored bulbs other than at the holidays).
3. Spillover of glare must be avoided to neighboring lots and light sources must be shielded to prevent glare. Wall washes can be achieved through an eave or ground

SUMMARY

EXAMPLE



A private space created by pool and terrace.

DETAIL

mounted light fixture. Avoid soffit-mounted spot lights. ARC may allow such spots only in areas not visible to street or from other lots.

4. Tree uplights should be recessed below ground, behind shrub masses or down lights should be positioned within the trees, out of primary view.

5. Integrate landscape lighting with deck, arbor, post, bench & trellis elements.

R. DOG RUNS/HOUSES

1. Must be immediately adjacent to the home and screened appropriately with design, materials and trim similar to the primary home.

S. POOLS AND HOT TUBS

1. Design, materials and layout must be submitted for ARC review done in reference to the openspace plan requirements.

2. All pools and hot tubs should be fitted to the landforms, terraces, porches and decks. Above ground pools will only be allowed on specified lots so they can not be seen by the public or are made to appear as "in ground pools". Review all easements prior to planning a pool.

3. Associated code-required security fences, retaining walls, and lighting should meet requirements described.

T. SPECIAL REQUIREMENTS

1. During construction each homesite will be kept clean and free of debris. Each builder will be held responsible for debris which blows off the site, so police your site. If the developer must clean up the appropriate charges will be passed on.

2. Every owner and builder is responsible to provide erosion control per all applicable regulations.

Storm Door **Quick** Reference Guide for Condominium Owners

Victor Gardens Community Association - Architectural Review Committee



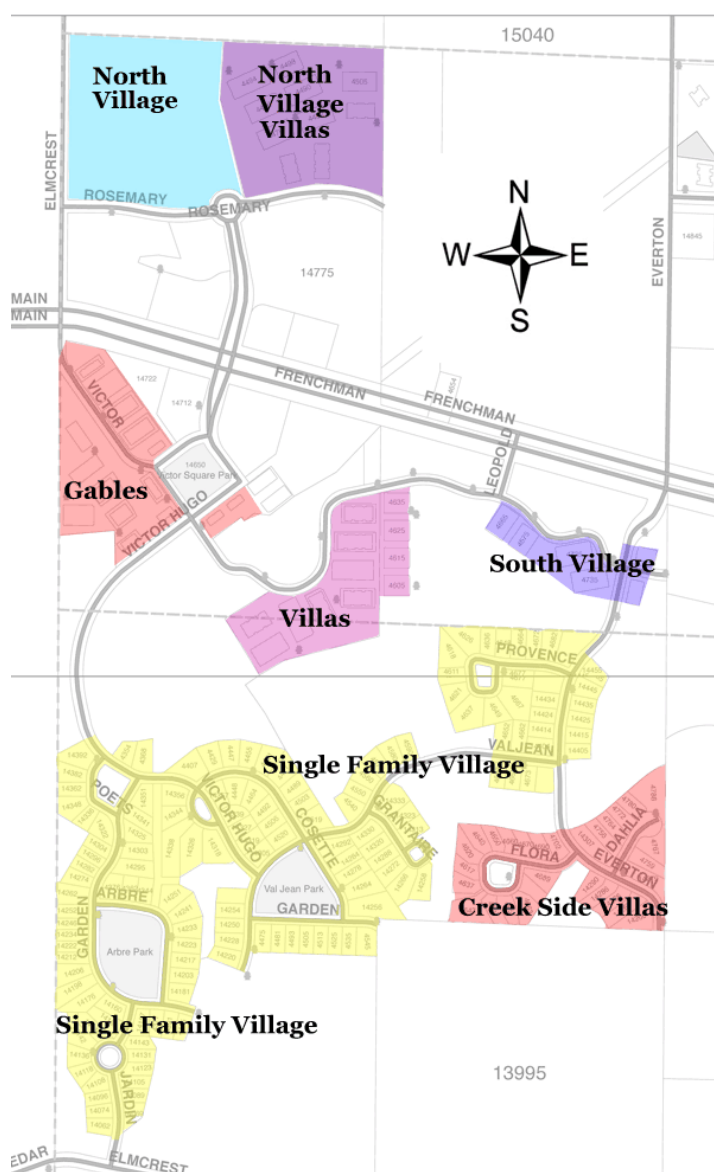
As a greater number of condominium owners are interested in adding a storm door to their home, the Victor Gardens' Architectural Review Committee (ARC) has produced this Storm Door Quick Reference Guide for Condominium Owners and a Condominium Storm Door Quick Application Form. These "**Quick**" documents enable you to find and install the approved doors easily and without unnecessary ARC approval delays. If you do decide to purchase a storm door, it must be one of the correct, approved doors for your specific condo sub-association. You must also submit the appropriate Condominium Storm Door Quick Application Form to the ARC.

Owners interested in installing a different door or using a different installer are welcome to submit a traditional (and slower) Architectural and Landscape Improvement Application available from VG's Community Manager. Owners should understand, however, that the ARC seeks to maintain a uniform appearance throughout the associations. Creek Side Villas owners do not have a "quick" option and should also use the Architectural and Landscape Improvement Application. Single Family Village owners must submit a different application available through the SFV Association.

In Victor Gardens, installation of a storm door is not a do-it-yourself project. To protect our associations from damage and liability claims only ARC approved contractors may install the door. Minnesota Exteriors (763) 391-5523 is licensed and insured. This is the only company who may install ARC-approved doors as a part of the Quick Application process. Please contact representatives of Minnesota Exteriors and they will be able to discuss the cost of delivery and installation of the door.

Victor Gardens is a community that includes a number of sub-associations. Please take care in finding the correct door for your unit's association. Use the map for your reference.

- North Village
- North Village Villas
- Gables
- Villas
- South Village



Victor Gardens Approved Condo Storm Doors

ARC has determined that only specific models (including manufacturer, model, door colors, and hardware color) will be the approved models for Victor Gardens condominium association units.

North Village: <u>Larson, Model Number #349-52</u> <ul style="list-style-type: none">• White door color• Brushed nickel hardware	<u>Larson, Model Number # 346-52</u> <ul style="list-style-type: none">• White door color• Brushed nickel hardware
North Village Villas: <u>Larson, Model Number #349-52</u> <ul style="list-style-type: none">• Almond door color• Brushed nickel hardware	<u>Larson, Model Number # 346-52</u> <ul style="list-style-type: none">• Almond door color• Brushed nickel hardware
South Village: <u>Larson, Model Number #349-52</u> <ul style="list-style-type: none">• Almond door color• Brushed nickel hardware	<u>Larson, Model Number # 346-52</u> <ul style="list-style-type: none">• Almond door color• Brushed nickel hardware
Villas: <u>Larson, Model Number #349-04</u> <ul style="list-style-type: none">• White door color• Brass colored hardware	<u>Larson, Model Number # 346-60</u> <ul style="list-style-type: none">• White door color• Brass colored hardware
Gables: <u>Larson, Model Number #349-04</u> <ul style="list-style-type: none">• White door color• Brass colored hardware	<u>Larson, Model Number # 346-60</u> <ul style="list-style-type: none">• White door color• Brass colored hardware

Condominium Storm Door **Quick** Application Form

Victor Gardens Community Association - Architectural Review Committee

Name: _____

Address: _____ Unit Number: _____

Email: _____ Phone: _____

Please indicate your installer:

☐ Minnesota Exteriors

Please indicate your association:

☐ North Village

☐ North Village Villas

☐ Gables

☐ Villas

☐ South Village

Proposed Larson door model number: _____

Proposed storm door color: _____

Proposed storm door hardware color & finish: _____

The homeowner agrees to the following:

1. The owner is responsible for ensuring proper installation of the correct ARC approved storm door in the approved color, with the approved hardware color/finish, for the unit's sub-association. This information is found within the Storm Door Quick Reference Guide for Condominium Owners.
2. No alterations/improvements may be commenced until written approval is received from the Architectural Review Committee. Alterations/improvements must be completed as represented in this Application, or as modified by any changes required as a condition of approval.
3. The owner is responsible for obtaining any required building permits.
4. The owner, not the Association, Board of Directors, or Architectural Review Committee, is responsible for (i) the construction/installation standards and specifications relating to the alterations/improvements and construction/installation work; and (ii) determining whether the alterations/improvements violate any restrictions or requirements imposed by any governmental authority having jurisdiction over the Unit and Dwelling.
5. The owner shall hold harmless, indemnify and defend the Association and its officers, directors, and agents from and against any expenses, claims, damages, losses or other liabilities, including without limitation attorney's fees and costs of litigation incurred by the Association, arising out of (i) any part of the alterations/ improvements which violates and governmental law, code, ordinance, or regulation; (ii) the adequacy of the plans or specifications submitted by the owner on connection with this application; and (iii) the construction of the alterations/improvements.

Signature: _____ Date: _____

- ☐ Submit this Application Form to Victor Gardens Community Association, **not your individual sub-association**. Jennifer Campbell, Community Manager, Community Development Inc., 7100 Madison Avenue West, Golden Valley MN (763) 225-6424 jcampbell@developcommunity.com
- ☐ Wait for a written response from the Architectural Review Committee. This response will be emailed to you.

All inquiries, questions, and submissions should be directed to VGCA's Community Manager, Jennifer Campbell, (763) 225-6424 jcampbell@developcommunity.com

ARCHITECTURAL CHANGE APPLICATION

Step 1. Review the Architectural guidelines defined in the Declaration of Covenants.

Step 2. Fill out this application:

Name: _____

Phone #:

Address: _____

City:

Development Name: _____

Zip Code:

Est. Start Date: _____

Est. Completion Date:

Contractor's Name: _____

Phone #:

Type of Alteration/Improvement:

Include the following attachments with the application:

☐

Attach a copy of your original lot survey with placement of improvement/alteration noted (i.e. if building a deck, draw placement of deck on survey).

☐

Attach a drawing of the alteration/improvement, preferably a professional drawing from your contractor. If that is not available a hand drawing is acceptable.

☐

Attach a written description or picture (if same as your proposed improvement) of the alteration/improvement. Include a list of materials that will be used (for a deck you would include the following: types of wood, paint colors, stain colors etc....)

The homeowner agrees to the following:

A. No alterations/improvements may be commenced until written approval is received from the Architectural Review Committee. Alterations/improvements must be completed as represented in this Application, or as modified by any changes required as a condition of approval.

B. The owner is responsible for obtaining any required building permits.

C. The owner, not the Association, Board of Directors, or Review Committee, is responsible for (i) the construction standards and specifications relating to the alterations/improvements and construction work; and (ii) determining whether the alterations/improvements violate any restrictions or requirements imposed by any governmental authority having jurisdiction over the Unit.

D. The owner shall hold harmless, indemnify and defend the Association and its officers, directors, and agents from and against any expenses, claims, damages, losses or other liabilities, including without limitation attorneys' fees and costs of litigation incurred by the Association, arising out of (i) any part of the alterations/improvements which violates any governmental law, code, ordinance, or regulation; (ii) the adequacy of the plans or specifications submitted by the owner in connection with this application; and (iii) the construction of the alterations/improvements.

Signature: _____

Date:

Step 3. Submit the application to **Victor Gardens Community Association Inc., 7100 Madison Ave W. Golden Valley, MN 55427** (remember the attachments).

Step 4. Wait for a response from the Architectural Review Committee. The response will be mailed to you. **Note: In accordance with the Declaration of Covenants your contractors are not allowed to put advertising signs on your property.**

If you have any questions or concerns about this process please contact the Association's Community Manager, Jennifer Campbell, at 763-225-6424 or via email at jcampbell@developcommunity.com

RECORD OF ACTION OF THE BOARD OF DIRECTORS
OF

Victor Gardens Community Association, Inc.
(Existing Home Architectural Delegation)

June 2, 2008

INASMUCH as Minnesota Statutes, Section 317A.239, Subdivision 1 provides that the directors of a non-profit corporation may act without the formality of a meeting by subscribing their names to a record of action assented to and taken by the same number of directors required to act at a meeting;

NOW, THEREFORE, the undersigned, being all of the Directors of Victor Gardens Community Association, Inc. record that effective the above date, they hereby adopt the following resolutions:

WHEREAS, the Board of Directors of Victor Gardens Community Association, Inc. is empowered to govern the affairs of the Homeowners Association pursuant to Section 6.4 of the Bylaws; and

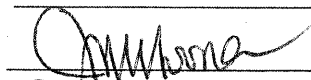
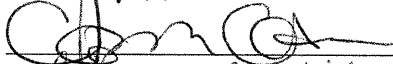
WHEREAS, there is a need to delegate existing home vs. new construction architectural control to the Victor Gardens Single Family Village Homeowners Association; and

WHEREAS it is the intent of the Board of Directors of Victor Gardens Community Association, Inc. to delegate existing home vs. new construction architectural control to the Board of Directors of Victor Gardens Single Family Village Homeowners Association, and it shall be applicable to all Owners and Occupants within the Victor Gardens Single Family Village Homeowners Association.

NOW, THEREFORE, BE IT RESOLVED THAT the existing home vs. new construction architectural control for Victor Gardens Single Family Village Homeowners Association is hereby delegated to the Board of Directors of Victor Gardens Single Family Village Homeowners Association, by the Board of Directors of Victor Gardens Community Association, Inc; and

BE IT FURTHER RESOLVED that the foregoing control shall go into effect with regard to all architecture to existing homes vs. new construction on or after June 2, 2008. This resolution shall remain in effect until otherwise rescinded, modified, or amended by a majority of the Board of Directors of Victor Gardens Community Association, Inc.

IN WITNESS WHEREOF, the following Directors of Victor Gardens Community Association, Inc. have hereunto subscribed their names.



James E. Fitzgerald
Richard W. Potts

IN WITNESS WHEREOF, the following Directors of Victor Gardens Single Family
Village Homeowners Association, Inc. have hereunto subscribed their names and agree.

